

# PIKE COUNTY BOARD OF APPEALS

P.O. Box 377 • 77 Jackson Street  
Zebulon, GA 30295

Ron Snowden, Chair  
Scott Huckaby, Vice-Chair  
Bonnie Byrd-Gardner  
Tricia Gwyn  
Lee Lewis

## Board of Appeals AGENDA

Thursday, June 16, 2022 - 6:00 PM

Courthouse, Main Courtroom, 16001 Barnesville Street, Zebulon, Georgia

- I. Call to Order
- II. Pledge of Allegiance
- III. Approval of the Agenda - (O.C.G A. § 50-14-1 (e) (1))
- IV. Approval of the Minutes - (O.C.G A. § 50-14-1 (e) (2))
  - a. May 19, 2022, Board of Appeals Minutes
- V. Unfinished Business - None
- VI. New Business

### Public Hearing

- a. APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code. Commission District: 2, Commissioner: Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal. This Item has been Postponed until the July 21, 2022 Board of Appeals Meeting.**
- b. VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2<sup>nd</sup> District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**
- c. VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8<sup>th</sup> District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

- d. VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1<sup>st</sup> District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620+/- feet. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**
- e. SE-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1<sup>st</sup> District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

**VII. Discussion - None**

**VIII. Adjournment**

## PIKE COUNTY BOARD OF APPEALS

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Minutes May 19, 2022

**SUBJECT:**

May 19, 2022, Board of Appeals Minutes

**ACTION:**

**ADDITIONAL DETAILS:**

**ATTACHMENTS:**

Type	Description
 Exhibit	Minutes

**REVIEWERS:**

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda

**PIKE COUNTY  
Board of Appeals  
May 19, 2022  
6:00 p.m.**

**POST AGENDA**

Ron Snowden, Chair  
Scott Huckaby, Vice-Chair  
Bonnie Byrd-Gardner  
Tricia Gwyn  
**VACANT**

**I. Call to Order**

**Chairman Snowden called the meeting to order by sound of the gavel at 6:00pm.**

**II. Pledge of Allegiance**

**Chairman Snowden lead us in the Pledge of Allegiance.**

**III. Approval of the Agenda**

**Board Member Byrd-Gardner moved to approve the Agenda. Vice-Chairman Huckaby seconded the motion. The Agenda was approved by a vote of 4-0-0.**

**IV. Approval of the April 21, Meeting Minutes 2022,**

**Vice-Chairman Huckaby moved to approve the Minutes of April 21, 2022. Board Member Byrd-Gardner seconded the motion. The Minutes were approved by a Vote of 4-0-0.**

**V. Old Business:**

**None.**



**VI. New Business:**

**Public Hearings:**

1. **VAR-22-04.** Kenneth and Kerri Vincent owner and applicant request a variance to development regulations for property located at 7804 Highway 362 Concord, GA 30206 in Land Lot 60 of the 2<sup>nd</sup> District, further identified as Parcel ID number 025 003E. The property consist of 32.37 +/- acres and the request is to increase the maximum size of a guest quarters with an attached garage. Commission District 2, Commissioner Tim Guy. **THE PUBLIC IS INVITED TO ATTEND TO SPEAK IN FAVOR OR IN OPPOSITION OF THE REQUEST. THE BOARD OF APPEALS WILL MAKE FINAL DECISION ON THIS VARIANCE.**

Chairman Snowden asked the Planning & Development Director, Jeremy Gilbert to introduce the Application along with his Staff Recommendation for Approval and 4 Zoning Conditions. They are as following:

1. A building permit will be required for the new structure.
2. The existing structure shall not be enlarged over the 1,452 square feet heated space. An attached garage is allowable.
3. The guest quarters shall not be used as a rental.
4. Septic & well approval shall be required before the building permit can be issued.

Chairman Snowden called the Applicant, Kenneth Vincent up to the microphone to sign in on the Sign-In Sheet in favor of the Variance and to explain his reason for his application.

Chairman Snowden opened the floor to the public in favor or against and no one came forth.

**Names of people in favor**

1. Kenneth Vincent

**Names of people who oppose**

NONE

Chairman Snowden closed the floor and turned to the Appeals Board for further questions or to entertain a motion.

Board Member Gwen moved to approve the Variance with the 4 Recommended Conditions. Vice-Chairman Huckaby seconded the motion. The motion passed by a vote of 4-0-0.

2. **VAR-22-05.** June D. Bishop owner and applicant request a variance to development regulations for property located at 757 Oliver Road Meansville, GA 30256 in Land Lot 238 of the 8th District, further identified as a part of Parcel ID 072 035. The property consist of 4.5 +/- acres and the request is to decrease

the minimum size of a primary structure from 1,500 square feet to 1,248 square feet. Commission District 3, Commissioner Jason Proctor. **THE PUBLIC IS INVITED TO ATTEND TO SPEAK IN FAVOR OR IN OPPOSITION OF THE REQUEST. THE BOARD OF APPEALS WILL MAKE FINAL DECISION ON THIS VARIANCE.**

**The Planning & Development Director, Jeremy Gilbert introduced the Application along with his Staff Recommendation for Denial; however, should the Board Approve the request, Staff Recommended 2 Zoning Conditions. They are as following:**

- 1. Building permits shall be required before the construction of the project can begin.**
- 2. A well & septic permit will be required from the health department before a building permit can be issued.**

**Chairman Snowden called the Applicant, June Bishop up to the microphone to sign in on the Sign-In Sheet in favor of the Variance and to explain her reason for her application.**

**Chairman Snowden opened the floor to the public in favor or against.**

**Names of people in favor**

- 1. June Bishop**
- 2. Al Oliver**
- 3. Leonard Shirley**
- 4. Margaret Shirley**
- 5. Bonnie Byrd-Gardner**

**Names of people who oppose**

**NONE**

**Board Member Byrd-Gardner excused herself from this Application.**

**Chairman Snowden closed the floor and turned to the Appeals Board for further questions or to entertain a motion.**

**Vice-Chairman Huckaby moved to approve the Variance with the 2 Staff Recommended Conditions. Board Member Gwyn seconded the motion. The motion passed by a vote of 3-0-1.**

- 3. SE-22-01.** Matthew and Patricia Armstrong owner and applicant request a special exception to operate a general home occupation for property located at 2482 Highway 362, Williamson, GA 30292 in Land Lot 157 of the 1<sup>st</sup> District, further identified as Parcel ID 050 012F. The property consist of 34.62 +/- acres and the request to allow operate a hair salon as a general home occupation. Commission District 4, Commissioner James Jenkins. **THE PUBLIC IS INVITED TO ATTEND TO SPEAK IN FAVOR OR IN OPPOSITION OF THE RE-**

**QUEST. THE BOARD OF APPEALS WILL SEND A RECOMMENDATION TO THE BOARD OF COMMISSIONERS FOR FINAL DECISION.**

**The Planning & Development Director, Jeremy Gilbert presented this Special Exception Application with his Staff Recommendation for Approval and 2 Zoning Conditions. They are as following:**

- 1. A business license/annual renewal shall be required before the business can operate.**
- 2. Proper signage if installed shall conform with the requirements outlined in the general home occupation permissions & governed by Ch 158 of the Pike County Code.**

**Chairman Snowden called the Applicant, Matt Armstrong up to the microphone to sign in on the Sign-In Sheet in favor of the Special Exception and to present his request.**

**Chairman Snowden opened the floor to the public in favor or against.**

**Names of people in favor**

- 1. Matt Armstrong**

**Names of people who oppose**

**None**

**Chairman Snowden closed the floor and turned to the Appeals Board for further questions or to entertain a motion.**

**Board Member Byrd-Gardner moved to approve the Special Exception with the 2 Recommended Conditions. Board Member Gwen seconded the motion. The motion passed by a vote of 4-0-0.**

**VII. Discussion**

**None**

**VIII. Adjournment**

**Chairman Snowden moved to Adjourn the Meeting. Board Member Gwen seconded the motion. The motion was approved by a vote of 4-0-0.**

**Chairman Snowden closed the meeting by sound of the gavel at 6:23pm.**

## PIKE COUNTY BOARD OF APPEALS

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APP-22-01- Postponed Until July 21, 2022

### SUBJECT:

APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code. Commission District: 2, Commissioner: Tim Guy.  
**The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal. This Item has been Postponed until the July 21, 2022 Board of Appeals Meeting.**

### ACTION:

### ADDITIONAL DETAILS:

### ATTACHMENTS:

Type	Description
<input type="checkbox"/> Exhibit	Staff Report

### REVIEWERS:

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda



## PLANNING AND DEVELOPMENT

*Planning – Zoning – Environmental – Permits & Inspections*

PO Box 377  
77 Jackson Street  
Zebulon, GA 30295

Fax: 770-567-2024  
Phone: 770-567-2007

*"Serving Citizens Responsibly"*

Case Number: APP-22-01

Applicant: Tom Morgan

Property Location: Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision)

Commission District: District 2; Commissioner: Tim Guy

Request: The applicant is appealing the zoning administrator's determination that the rocks/riprap located at the Flint River were located in the county right-of-way as well as the state's 25 foot state water buffer.

Code References: Chapter 156 (Zoning Code); Section 156.025 specifies criteria for appealing an action of the Zoning Administrator

### **Staff Analysis:**

The applicant is appealing a decision that was made by Pike County that determined the rocks/riprap located at the waters edge of the Flint River at the entrance of the Shoals Subdivision were located in the county right-of-way as well as the 25' state water buffer. I went out to the site at the end of January and investigated the rocks/riprap at the water's edge, and it was determined that the rocks/riprap are in the twenty-five-foot (25') state waters buffer as well as the public right-of-way. Nothing is allowed to be placed in the public right-of-way without having the Pike County Board of Commissioners permission.

According to Section 153.04 (C) (15) (A) of the Pike County Code a twenty-five-foot (25') state waters buffer is established and is to remain undisturbed unless necessary per the exceptions allowed in the Code. At the time I investigated the site the rocks were approximately 23 feet from the water's edge or wrested vegetation and were in violation of the aforementioned code section.

A letter was sent to Mr. Morgan on February 2, 2022, requesting the rocks/riprap be removed from the right-of way and 25 foot buffer by March 3, 2022. A follow up visit was made to the subject property after the March 3 deadline and the rocks/riprap were still at the location. A second letter was sent to Mr. Morgan on March 7, 2022, requesting the rocks be removed or be subject to the County removing them and storing them at the Pike County Public Works storage yard. The letter indicated the rocks needed to be removed by Monday March 12, 2022, which was an error in the date it should have been March 14, 2022 which was the Monday.

A meeting was held March 15, 2022, at the County Commissioners office with Mr. Morgan, the County Attorney, the County Manager and the Planning and Development Director to discuss the issue. At the meeting Mr. Morgan indicated that the rocks/riprap was installed for erosion purposes. He also indicated that he didn't believe the rocks/rip rap were in the county right-of-way but in the states right-of-way. However, the rocks/riprap were not authorized nor approved to be installed by Mr. Morgan nor where they installed according to the design guidelines in the Georgia Soil and Water Manual for check dams. During that meeting I was made aware that the County had removed the rock/riprap from the right-of-way and the state water buffer that morning before our meeting started. The area where the rocks/riprap were removed from was seeded and strawed and some haybales were installed to mitigate any erosion issues.

The applicant has submitted a letter of explanation/notice of appeal that outlines his appeal. The applicant also included some exhibits related to his appeal. I have included the letter and the exhibits for your review.

It is my recommendation to the Board of Appeals to hear the applicants requested appeal and **uphold** the decision of the county that the rocks/riprap was located within the right-of-way as well as the 25-foot state water buffer.

**Attachments:**

- Appeal Application
- Letter of Explanation/Notice of Appeal
- Exhibits A-G



PIKE COUNTY  
BOARD OF APPEALS

Application # APP-22-01

Board of Appeals Public Hearing Date: May 19, 2022

Board of Commissioners Public Hearing Date: \_\_\_\_\_

☐ Special Exception

☐ Special Use Permit

☐ Variance

☒ Appeal

Property Information: District(s): \_\_\_\_\_ Land Lot(s): \_\_\_\_\_ Acres: \_\_\_\_\_

Tax Map Parcel #: \_\_\_\_\_ Address if assigned: \_\_\_\_\_

Description of Request: Appeal of letter of determination  
of March 7, 2022;  
1. issue of 25' Buffer  
2. issue of Right-of-way

Code Reference(s): \_\_\_\_\_ Present Zoning: \_\_\_\_\_

Documentation Required: ☐ Copy of Recorded Plat ☐ Copy of Recorded Deed

☒ Letter of Explanation see attachments ☐ Health Department Letter of Approval ☐ Sketch or site plan (preferable)

☐ Agent Authorization (if needed) ☐ Other \_\_\_\_\_

Property Owner: Tom Morgan, Jr. Applicant: Tom Morgan, Jr.

Address: Box 357 Indian Trail Address: P.O. Box 281

City: Concord State: GA Zip: 30206 City: Woodbury State: GA Zip: 30293

City: Concord State: GA Zip: 30206 City: Woodbury State: GA Zip: 30293

Phone/email: \_\_\_\_\_ Phone/email: morganlawoffice@aol.com

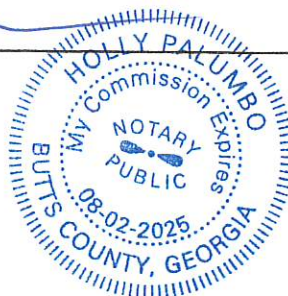
Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: [Signature] Date: 3-30-2022

Owner's Printed Name: Tom Morgan

Sworn to and subscribed before me this 30th day of March, 2022.

Notary Public (signature & seal): [Signature]



## NOTICE OF APPEAL

To the Pike County Zoning Board of Appeals

Filed: March 30, 2022

Re: Tom Morgan v. Pike County Planning and Development  
In care of: Jeremy Gilbert, Director

Dear Director and Pike County Board of Appeals:

This notice is to appeal the requirement, decision, or determination by the above named Director of the Pike County Planning and Development, contained in the Director's letter dated: March 7th, 2022:

Appellant Tom Morgan hereby files his notice of appeal pursuant to Pike County Code Section 152.30(B) et seq., and makes response to the Director's March 7th letter (Exhibit "A"), to wit:

1. That the Appellant was not served notice nor did Appellant receive notice of the Director's "letter dated February 2, 2022" as indicated in the Director's March 7th letter, and from which this appeals lies, and from which appears to have formed two separate and distinct issues being a violation of:
  - (a) rocks/riprap (i.e. "property") within a *"twenty-five-foot (25') state waters buffer and*
  - (b) *as well as the public right-of-way"*;
2. That the Appellant has not been served notice of any county buffer violations;
3. That the Director in his alleged "February 2, 2022", letter indicated that Appellant was in violation of Pike County Code "Section 153.04(C)(15)(A)" in that the "twenty-five-foot (25') state waters buffer is established" but failed to identify in his letter how such state waters buffer had been established;
4. That the Appellant has not been served notice of any county right-of-way violations;
5. That the Director's alleged "public right-of-way" has been neither adequately defined nor sufficiently identified from which Appellant can determine what or specifically where located is this "public right-of-way" complained of;
6. That the Director in his March 7th letter did not state any reasons of urgency to have immediately the removal of and take possession of Appellant's property;
7. That the Director in his March 7th letter failed to state any authority for a "30 day deadline" for the



county's removing and taking possession of Appellant's property;

8. That the Director in his March 7th letter failed to show authority relied upon from which the the Appellant would be deprived of the use his property and from which directed the removal of Appellant's property by a March 12th deadline;

9. That the Director in his March 7th letter failed to show authority for assessing Appellant of costs; and,

10. That the Director in his March 7th letter failed to indicate the authority relied upon from which Appellant's property would become "the property of Pike County".

### **ANSWER**

1. Appellant denies any violations of a 25' state waters buffer requirement; and,
2. Appellant denies any violations of a right-of-way violation by such property.

### **DEFENSE OF LAW**

1. That Appellant shall rely upon State Law OCGA §12-7-6, OCGA §12-7-17, et seq., as an affirmative defense to any action by a director alleging land disturbing activities;

2. That Appellant shall rely upon Rule 391-3-7-.05 promulgated by the Georgia Department of Natural Resources as an exception to requirement of an application to the director concerning drainage structures exempted from the 25' buffer area of any state water not classified as a trout stream;

3. That Appellant shall rely upon a survey showing that Appellant's property is located within an established Georgia Department of Transportation right-of-way and the property is not situated within Pike County's alleged right-of-way;

4. That Pike County lacks jurisdiction over State law concerning this property and violation(s);

5. That Pike County lacks jurisdiction over the taking and possession of one's private property without due process and more specifically is in violation of Georgia Law OCGA §22-1-6 et seq.;

6. That Pike County is illegally and without statutory authority in its exercising a power of eminent domain by the taking, possession, and condemning Appellant's property by this Director for public use without "just and adequate compensation";

7. That Pike County has failed to follow its own rules for due process for the taking of private property, and is in violation of state laws concerning the taking of private use without due process;

8. That Appellant hereby reserves any other defense of law which could have been raised at this level of this appeal which can not been particularly formulated at this time due to lack of sufficient information from which Appellant may form an justiciable defense.

Respectfully submitted this day, March 30th, 2022.

A handwritten signature in blue ink, consisting of a series of loops and strokes, positioned above a horizontal line.

Tom Morgan, Jr., Appellant

All correspondences shall be made to:

Tom Morgan, Jr.

P.O.Box 281

Woodbury, Georgia 30293

(706) 553-2597

email permissible for service: morganlawoffice@aol.com

**Certificate of Service:**

I have this day, personally served the above and foregoing Notice of Appeal to the Pike County Planning and Development Officer, upon the Director or his office staff, by hand deliver, with the exhibits marked as Exhibit "A" through "G" to be attached to this notice.

March 30, 2022

A handwritten signature in blue ink, consisting of a series of loops and strokes, positioned above a horizontal line.

## **EXHIBITS**

Description of attached Exhibits "A" through "G"

- A. Copy of March 7th letter as received on March 10th (non-certified/registered mail)
- B. View of erosion problem prior to permitted driveway being installed October 2021.
- C. View of seeded area after driveway installation to the erosion-control rock buffer
- D. View of rocks placed on State right-of-way area (State bridge right-of-way extends 75' perpendicular from bridge foundations shown in left foreground. Each of the 3 fence sections are 8' in length
- E. View of river (state water) edge showin no wrestled vegetation from where illegal puclic access destroyed the natural vegetation
- F. View from under bridge towards the buffer area
- G. View of canoer's enjoying the buffer area



PLANNING AND DEVELOPMENT  
OFFICE

*Planning – Zoning – Environmental – Permits & Inspections  
Code Enforcement*

P. O. Box 377  
77 Jackson Street  
Zebulon, GA 30295

Phone: 770-567-2007

Fax: 770-567-2024

jgilbert@pikecoga.com

*"Serving Citizens Responsibly"*

March 7, 2022

Tom Morgan  
357 Indian Trail  
Concord, GA 30206

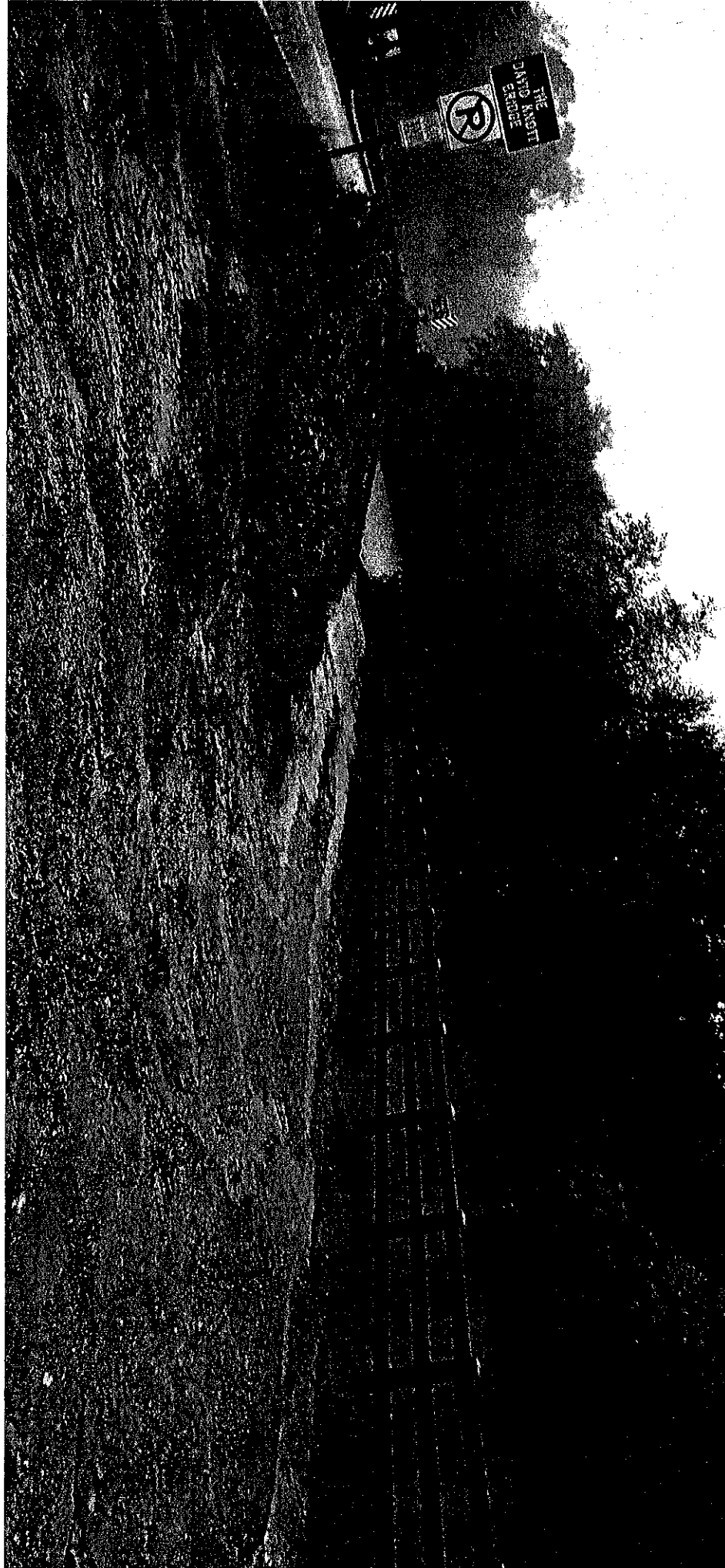
Mr. Morgan this is a follow up letter to the letter dated February 2, 2022, regarding the rocks/riprap at the water's edge of the Flint River at the entrance of the Sholes Subdivision. Now that the deadline to remove the rocks/riprap has passed Pike County has scheduled to have the rocks/riprap removed on Monday, March 12, 2022.

The rocks/riprap will be stored at the Pike County Public Works storage yard. Should you want to remove the rocks before Monday you can. However, should the rocks/riprap still be there on March 12, 2022, we will remove them at an expense to you. After Pike County takes position of the rocks/riprap you will have 30 days to pick them up for a cost determined by the County for removing them. Should the rocks/riprap not be claimed by you before the 30 day deadline the rocks/riprap will become the property of Pike County.

Should you have any questions regarding this matter please contact me at the above number.

Sincerely,

Jeremy Gilbert  
Director



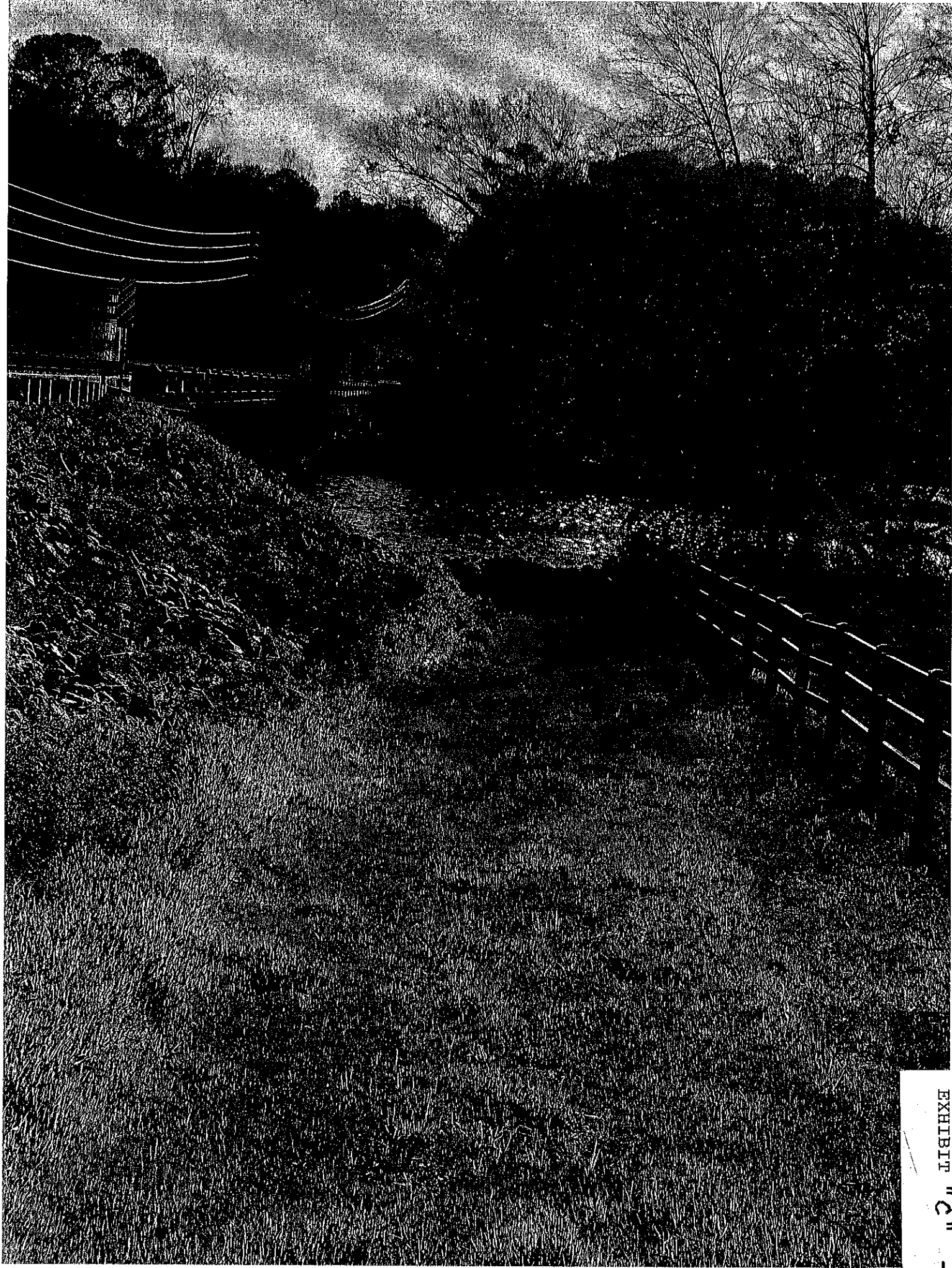


EXHIBIT "C"



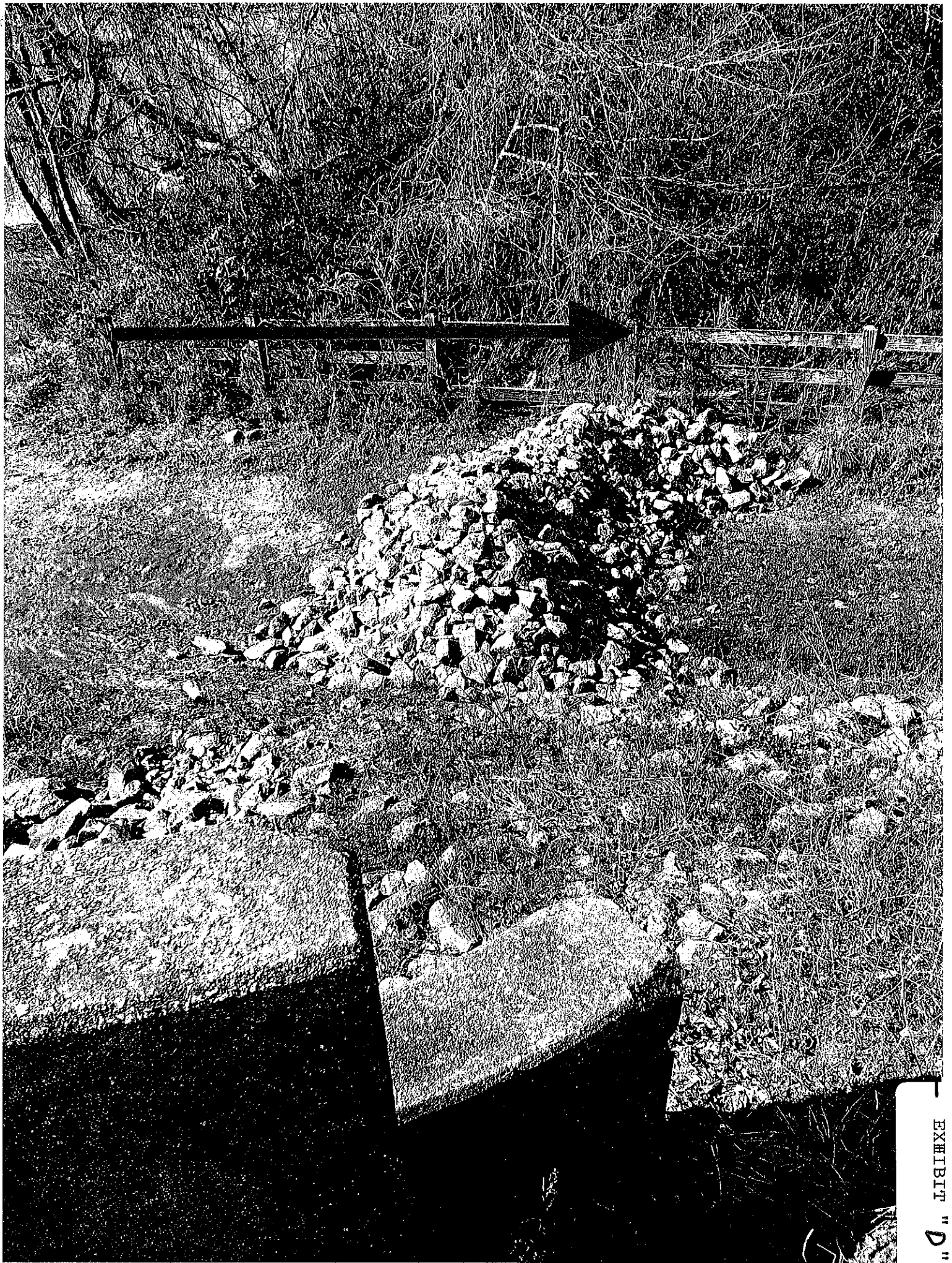


EXHIBIT "D"



EXHIBIT "E"

EXHIBIT "E"





EXHIBIT "F"



EXHIBIT "G"

## PIKE COUNTY BOARD OF APPEALS

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VAR-22-06

### SUBJECT:

VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2<sup>nd</sup> District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

### ACTION:

### ADDITIONAL DETAILS:

### ATTACHMENTS:

Type	Description
▣ Exhibit	Staff Report

### REVIEWERS:

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda





PLANNING AND DEVELOPMENT  
OFFICE

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Code Enforcement*

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Phone: 770-567-2007  
Fax: 770-567-2024  
sparks@pikecoga.com

*“Serving Citizens Responsibly”*

**Case Number:** VAR-22-06

**Board of Appeals Meeting:** June 16, 2022

**Mailed Notices:** May 31, 2022

**Sign Posted:** June 1, 2022

**Owner:** Chris and Samantha Kingsley

**Applicant:** Stuart Morris

**Property Location:** 2454 Etheridge Mill Road  
Griffin, GA 30224  
Landlot: 136  
District: 2<sup>nd</sup>  
Parcel ID: 086 059Q

**Acreage:** 2+/- acres

**Commission District:** District 3, Jason Proctor

**FEMA Data:** Does not lie within a flood zone.

**Request:** The applicant is requesting a variance to construct an 1,152 square foot guest quarters that is greater in size than the allowable 750 square feet maximum guest quarters as outlined in Section 156.43 (C) (13) of the Pike County Code.

**Code Reference:** CH 156.43 (C) (13) *Detached guest quarters meeting the following development standards:*

- (a) No more than one is permitted on a lot with another dwelling;*
- (b) It is permitted only within a rear yard of a principal dwelling;*
- (c) Such a use must not be used as rental property;*
- (d) The maximum heated square footage of the guest quarters shall be 750 square feet;*
- (e) Shall not have an attached, enclosed garage / carport or basement;*
- (f) Environmental Health Department approval must be obtained for each application, in regards to water and sewer capability.*



## PLANNING AND DEVELOPMENT OFFICE

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*“Serving Citizens Responsibly”*

**Staff Analysis:** The Subject property is zoned A-R, Agricultural-Residential. The applicant is wanting to construct a guest quarters that is larger than the code allows. The proposed guest quarters is to be 1,152 square feet and located in the rear yard of the subject property. The Health Department has stated the septic system would need to be upgraded to accommodate the addition of an additional bedroom.

### **§156.26 VARIANCES**

*(A) A variance is a permit, issued by the Board of Appeals, which allows use of a parcel of land in a way that does not meet certain requirements for the district in which the property is located. A variance may be granted only in an individual case where an extreme hardship would result if all of the requirements of this chapter were applied stringently to a particular piece of property. The hardship must be proven by showing beyond a doubt that reasonable use of the land is not possible if all of the requirements of this chapter are to be met. The hardship cannot be self-created such as:*

*(1) A lot purchased with knowledge of an existing restriction;*

According to the applicant they were unaware that Pike County had a maximum allowable size for guest quarters when they purchased their home.

*(2) A claim of hardship in terms of prospective sales;*

The applicant has made no mention of a prospective sale of the property. They are wanting to build this guest quarters to provide a place for aging parents that need medical care and need to be close as they are the sole providers.

*(3) An expressed economic need requiring a variance, when such a need can be met in other ways which would not require a variance.*

The need can only be met by building a structure that is less than 750 square feet as allowed by the ordinance or approve the requested variance allowing the larger guest quarters.



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*"Serving Citizens Responsibly"*

***(B) Relief from the hardship and the variance must not cause substantial detriment to the public good or impair the purposes of this chapter.***

Allowing a larger guest quarter than allowed by the code will not cause a substantial detriment to the public good or impair the purpose of this chapter.

**Recommendation:**

Staff recommends **APPROVAL** of the variance with the following conditions:

- 1) A building permit will be required for the guest quarters.
- 2) The guest quarters shall not be used as a rental.
- 3) Septic and well approval shall be required before the building permit can be issued for the guest quarters.

**Attachments:**

- Application
- Tax Map
- Plat
- Floor Plan
- Legal Ad
- Sign photo



PIKE COUNTY  
BOARD OF APPEALS

Application # VAR-22-06

Board of Appeals Public Hearing Date: 6-16-22 bpm

Board of Commissioners Public Hearing Date: \_\_\_\_\_

☐ Special Exception

☐ Special Use Permit

☒ Variance

☐ Appeal

Property Information: District(s): 2 Land Lot(s): 04 136 Acres: 2

Tax Map Parcel #: 086 059Q Address if assigned: 2454 Etheridge Mill Rd

Description of Request: We are wanting to build an in-law suite  
for our parents + IN-LAW BUILDING WILL BE 1152 SF.

Code Reference(s): \_\_\_\_\_ Present Zoning: \_\_\_\_\_

Documentation Required: ☒ Copy of Recorded Plat ☒ Copy of Recorded Deed

☒ Letter of Explanation ☒ Health Department Letter of Approval ☒ Sketch or site plan (preferable)

☐ Agent Authorization (if needed) ☐ Other \_\_\_\_\_

Property Owner: Chris & Samantha Kingsley Applicant: STUART MORRIS

Address: 2454 Etheridge Mill Rd Address: 400 GROVE POINTE CT.

City: Gwin State: GA Zip: 30224 City: LOCUST GROVE State: GA Zip: 30248

Phone/email: 770.367.4959 Phone/email: 770.898.8681 ELMS1@ELLSOUTH.NET  
SKingsley@co.henry.ga.us

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: Samantha Kingsley Date: 4/25/22

Owner's Printed Name: Samantha Kingsley

Sworn to and subscribed before me this 25 day of April, 2022.

Notary Public (signature & seal): Marcus D. Guter



Additional Property Owners (attach additional sheets as needed):

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: [Signature] Date: 4/25/22

Owner's Printed Name: Chris Kingsley

Sworn to and subscribed before me this 25 day of April, 2022

Notary Public (signature & seal): [Signature]



Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Printed Name: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public (signature & seal): \_\_\_\_\_

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

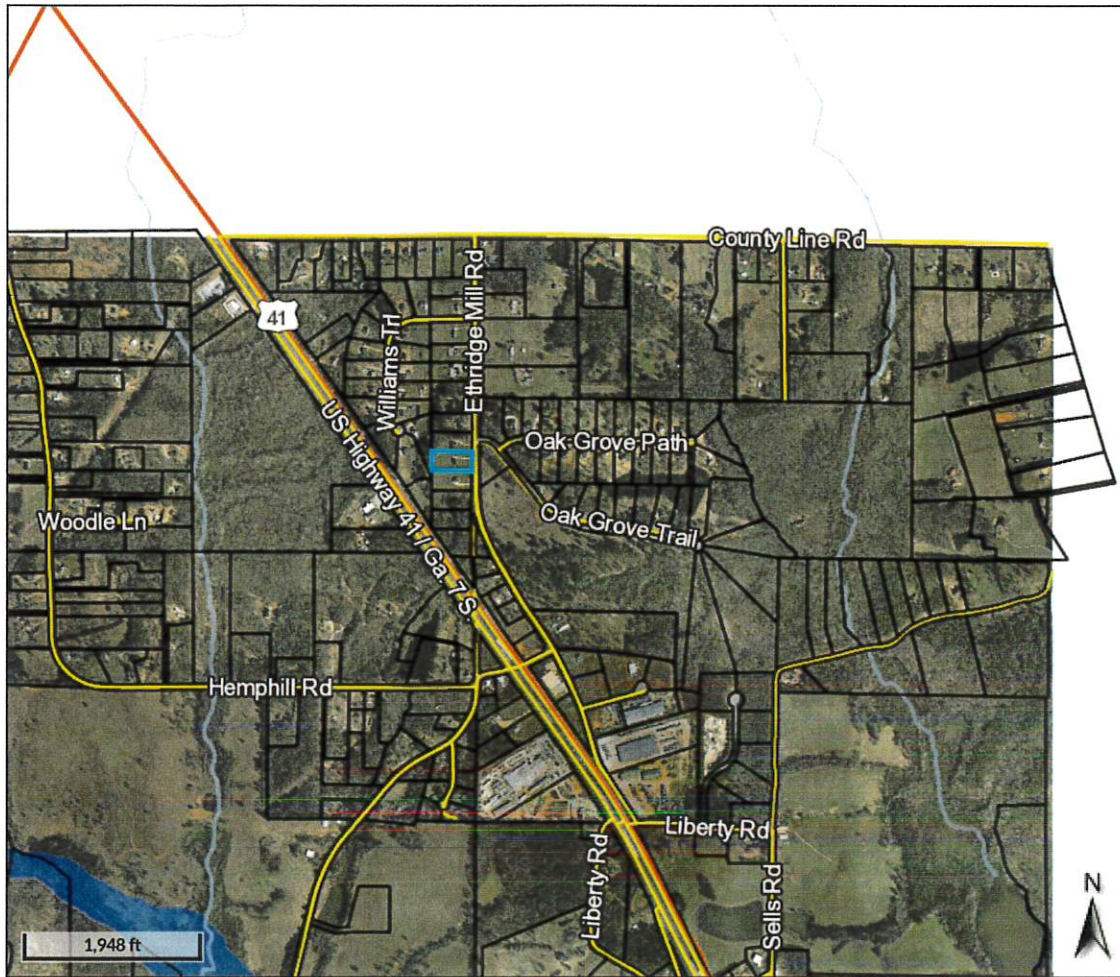
Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Printed Name: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public (signature & seal): \_\_\_\_\_





#### Overview



#### Legend

- Parcels
- Roads
- Streams and River (Large)

#### Flood Map

- A - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Base Flood Elevations (BFE) have not been determined.
- AE - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Determined by detailed methods with Base Flood Elevations (BFE).
- VE: Coastal SFHA with BFE & velocity wave action - Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- X: 500 Year Flood - Areas of 0.2% annual chance flood

Parcel ID 086 059 Q  
 Class Code Residential  
 Taxing District UNINCORPORATED  
 Acres 2

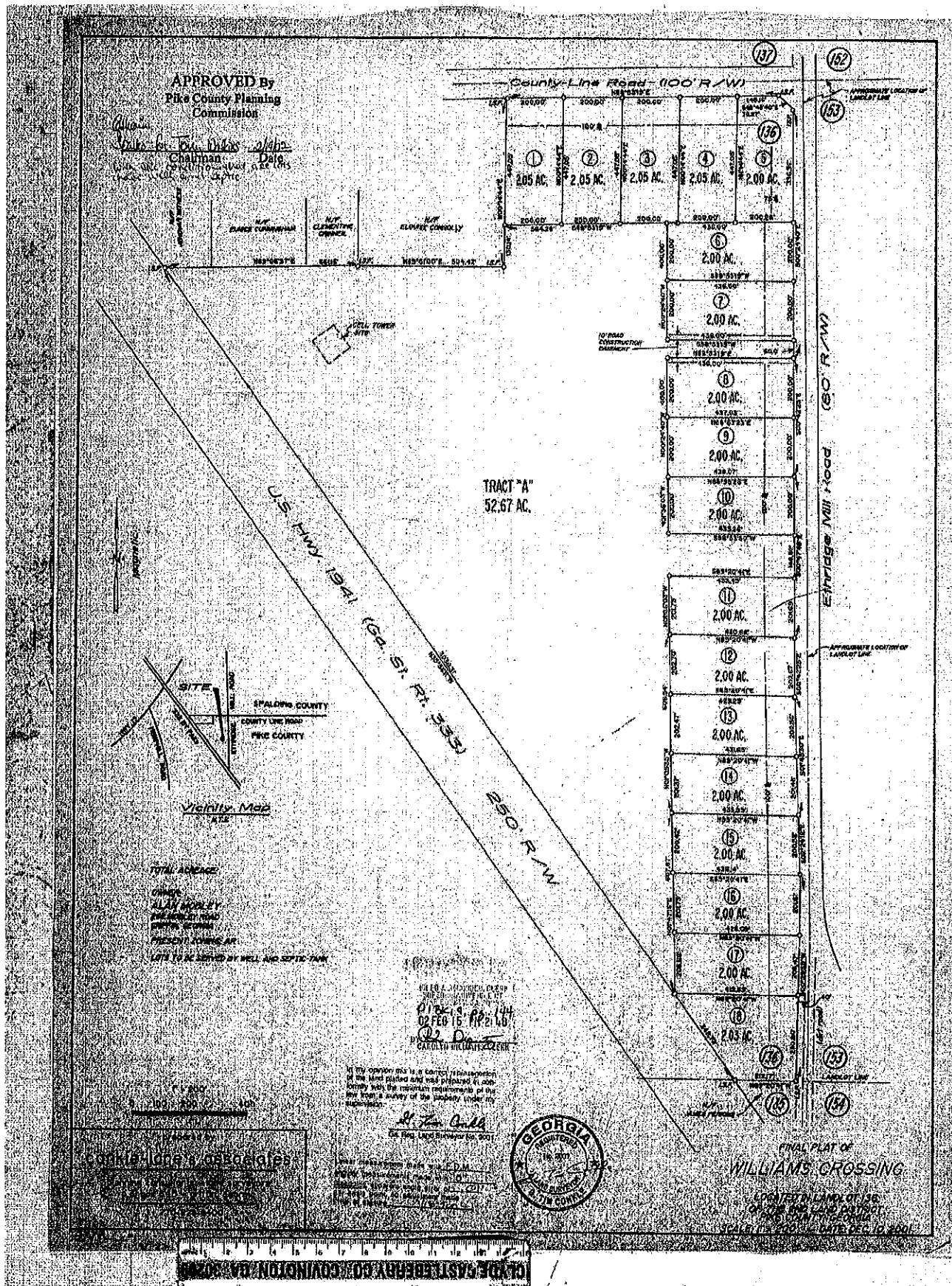
Owner BROOK, MATTHEW A & TAYLOR A  
 2454 ETHERIDGE MILL RD  
 GRIFFIN, GA 30224  
 Physical Address 2454 ETHERIDGE MILL RD  
 Assessed Value Value \$236901

Last 2 Sales			
Date	Price	Reason	Qual
1/31/2019	\$260000	FM	Q
10/8/2003	\$235000	FM	Q

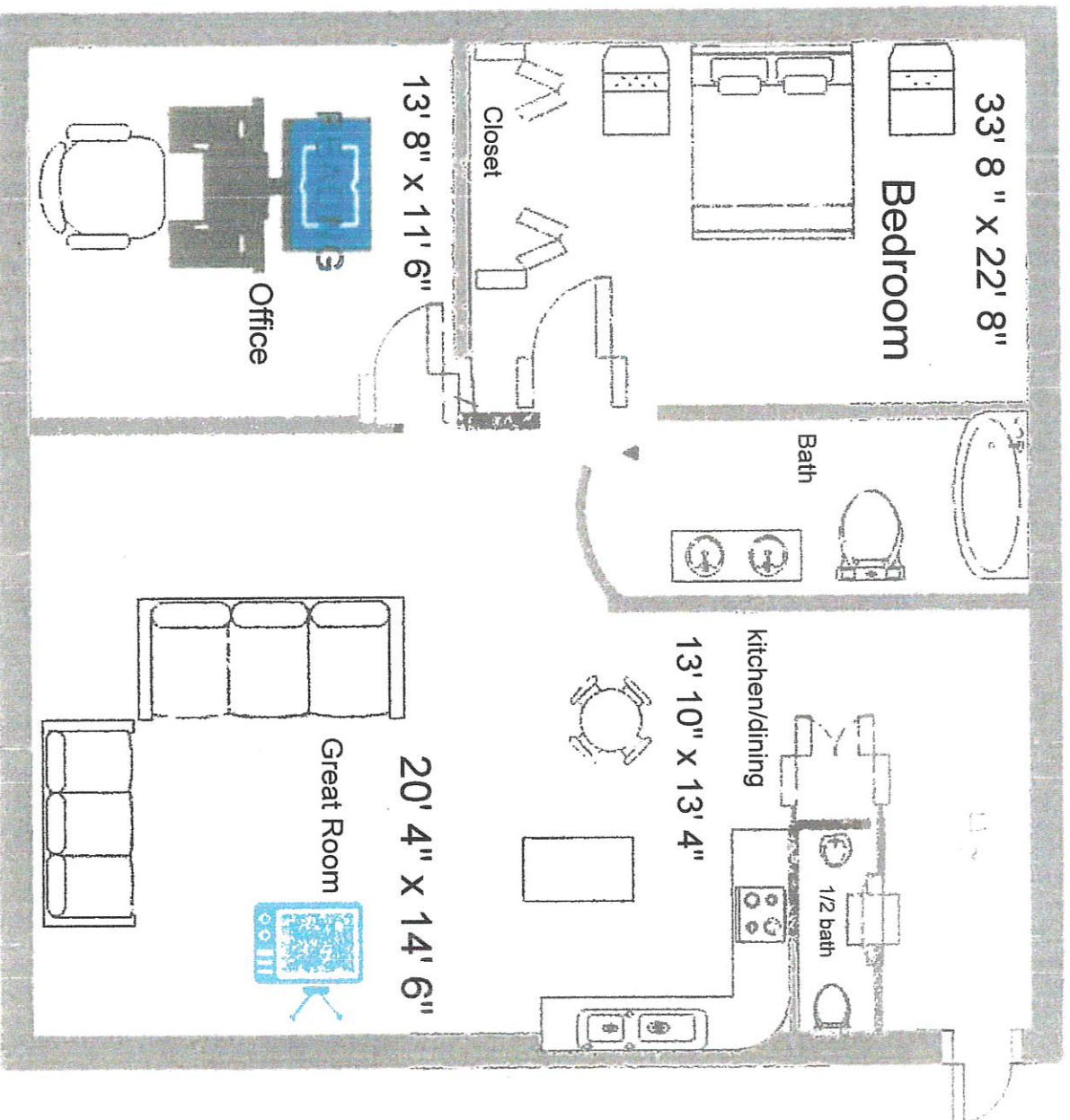
(Note: Not to be used on legal documents)

Date created: 6/4/2022  
 Last Data Uploaded: 6/3/2022 9:56:37 PM

Developed by







Heated Square 1152

## PIKE COUNTY BOARD OF APPEALS MONTHLY MEETING 6:00 p.m. June 16, 2022

The Pike County Board of Appeals will conduct its scheduled monthly meeting on June 16, 2022, at 6:00 p.m. on the second floor of the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The Board will conduct **PUBLIC HEARINGS** on the following items:

(1) Appeal application APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code, Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal.**

(2) VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2nd District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(3) VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8th District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(4) VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1st District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620 +/- feet. Commission District 1, Commissioner Tim Daniel. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(5) SE-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1st District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Daniel. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

The Pike County Board of Commissioners will conduct a **PUBLIC HEARING** on June 28, 2022, at 6:30 pm at the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The public is invited to speak in favor or in opposition of the request.





SE-22-06 Photo Taken June 1, 2022

## PIKE COUNTY BOARD OF APPEALS

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VAR-22-07

### SUBJECT:

VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8<sup>th</sup> District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

### ACTION:

### ADDITIONAL DETAILS:

### ATTACHMENTS:

Type	Description
▣ Ordinance	Staff Report

### REVIEWERS:

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda



## PLANNING AND DEVELOPMENT OFFICE

*Planning – Zoning – Environmental – Permits & Inspections  
Code Enforcement*

P. O. Box 377  
77 Jackson Street  
Zebulon, GA 30295

Phone: 770-567-2007  
Fax: 770-567-2024  
sparks@pikecoga.com

*“Serving Citizens Responsibly”*

**Case Number:** VAR-22-07

**Board of Appeals Meeting:** June 16, 2022

**Mailed Notices:** May 31, 2022

**Sign Posted:** June 1, 2022

**Owner:** Floyd S. and Jacqueline C. Lee

**Property Location:** 5168 US Highway 19  
Zebulon, GA 30295  
Landlot: 136  
District: 2<sup>nd</sup>  
Parcel ID: 086 059Q

**Acreage:** 25.03+/- acres

**Commission District:** District 2, Tim Guy

**FEMA Data:** Does not lie within a flood zone.

**Request:** The applicant is requesting a variance to development regulations as they pertain to flag lots as outlined in Section 156.44 (R) of the Pike County Code. The requested variances are to the separation and length requirements of the access strip.

**Code Reference:** CH 156.43 (R) *Flag (Panhandle) lots, whether part of a minor subdivision or a major subdivision, shall not have their access strips abut one another, nor have their access strips be closer than 400 feet apart. These spacing restrictions shall also apply to proposed flag lots to be located in the proximity of existing flag lots. Georgia Department of Transportation requirements may require two flag lot access strips to abut one another when the access is upon a State highway thoroughfare and these and other, similar County road situations may be approved on a case by case basis through a variance application with the Board of Appeals. For A-R zoned tracts less than 25 acres, flag lot access strips shall be a maximum of 655 feet in total length and a minimum 40 feet of total width, without an approved variance. For A-R zoned tracts 25 acres or more, flag lot access strips shall be a maximum of 655 feet in total length and a minimum 80 feet of total width, without an approved variance.*





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**Staff Analysis:** The Subject property is zoned A-R, Agricultural-Residential. The applicant is wanting to subdivide the subject property and downsize. According to the applicants letter of intent they are wanting to split the tract in to two parcels and by doing so the flag lot access strip will abut an existing flag lot access strip and not meet the minimum 400 foot separation requirement. Also the access strip will be greater in length than the allowable 655 feet as allowed by the code. However, the flag lots adjacent to this flag lot are all in excess of 655 feet in length. With this property being on a State Highway Access is granted by GDOT and they have indicated the existing drive will need to service the new parcel created and not allow a new driveway due to separation requirements.

### **§156.26 VARIANCES**

*(A) A variance is a permit, issued by the Board of Appeals, which allows use of a parcel of land in a way that does not meet certain requirements for the district in which the property is located. A variance may be granted only in an individual case where an extreme hardship would result if all of the requirements of this chapter were applied stringently to a particular piece of property. The hardship must be proven by showing beyond a doubt that reasonable use of the land is not possible if all of the requirements of this chapter are to be met. The hardship cannot be self-created such as:*

*(1) A lot purchased with knowledge of an existing restriction;*

According to the applicant they were unaware that Pike County had a distance separation or length requirement for flag lot access strips.

*(2) A claim of hardship in terms of prospective sales;*

No hardship has been indicated for a prospective sale. However the applicant is intending to split the lot in order to down size the older household.

*(3) An expressed economic need requiring a variance, when such a need can be met in other ways which would not require a variance.*

The need can only be met by meeting the separation requirement for flag lots as required by the ordinance or approving the requested variance. However, the





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length of the flag can only be met by a variance based on the current layout of the parcel.

***(B) Relief from the hardship and the variance must not cause substantial detriment to the public good or impair the purposes of this chapter.***

Allowing the proposed variances will not cause a substantial detriment to the public good or impair the purpose of this chapter.

### **Recommendation:**

Staff recommends **APPROVAL** of the variance.

### **Attachments:**

- Application
- Tax Map
- Plat
- Proposed Plat
- Legal Ad
- Sign photo

PIKE COUNTY  
BOARD OF APPEALS

Application # VAR-2207

Board of Appeals Public Hearing Date: 6-16-22

Board of Commissioners Public Hearing Date: \_\_\_\_\_

☐ Special Exception ☐ Special Use Permit ☒ Variance ☐ Appeal

Property Information: District(s): 8th Land Lot(s): 232 Acres: 25.03

Tax Map Parcel #: 069 040 B Address if assigned: 5168 US Hwy 19

Description of Request: Requesting a variance on the 400' separation requirement for Driveway / Pole  
portion of a flag lot. Required variance is for an new access to divide current 25.03 Ac. tract into a 15.00 Ac. &  
10.03 Ac. tract in order to downsize older household. The proposed 40' access strip will be located along and  
just north of and existing driveway that is currently being used by the applicant and a residence just to the  
east.

Code Reference(s): \_\_\_\_\_ Present Zoning: A-R

Documentation Required: ☒ Copy of Recorded Plat ☒ Copy of Recorded Deed

☒ Letter of Explanation ☐ Health Department Letter of Approval ☒ Sketch or site plan (preferable)

☒ Agent Authorization (if needed) ☐ Other \_\_\_\_\_

Property Owner: Floyd S. Lee & Jacqueline C. Lee Applicant: Same as Owner

Address: 5168 US Hwy 19 Address: \_\_\_\_\_

City: Zebulon State: Ga Zip: 30295 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone/email: 678-544-9561 or 770-584-5203 Phone/email: \_\_\_\_\_

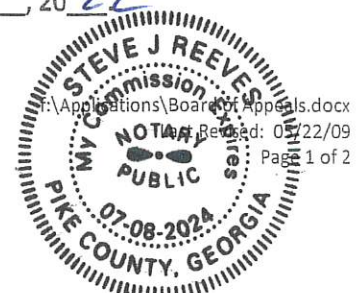
Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: Floyd S. Lee, Jr. Date: 5-6-22

Owner's Printed Name: Floyd S. Lee, Jr.

Sworn to and subscribed before me this 6th day of MAY, 20 22

Notary Public (signature & seal): [Signature]



Additional Property Owners (attach additional sheets as needed):

**Property Owner Authorization:** I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

**Owner's Signature:**     *Jacqueline C. Lee*     **Date:**     5/6/22      
**Owner's Printed Name:**     Jacqueline C. Lee    

Sworn to and subscribed before me this     6th     day of     May    , 20    22    

**Notary Public (signature & seal):**     *[Signature]*    



**Property Owner Authorization:** I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

**Owner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Owner's Printed Name:** \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**Notary Public (signature & seal):** \_\_\_\_\_

**Property Owner Authorization:** I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

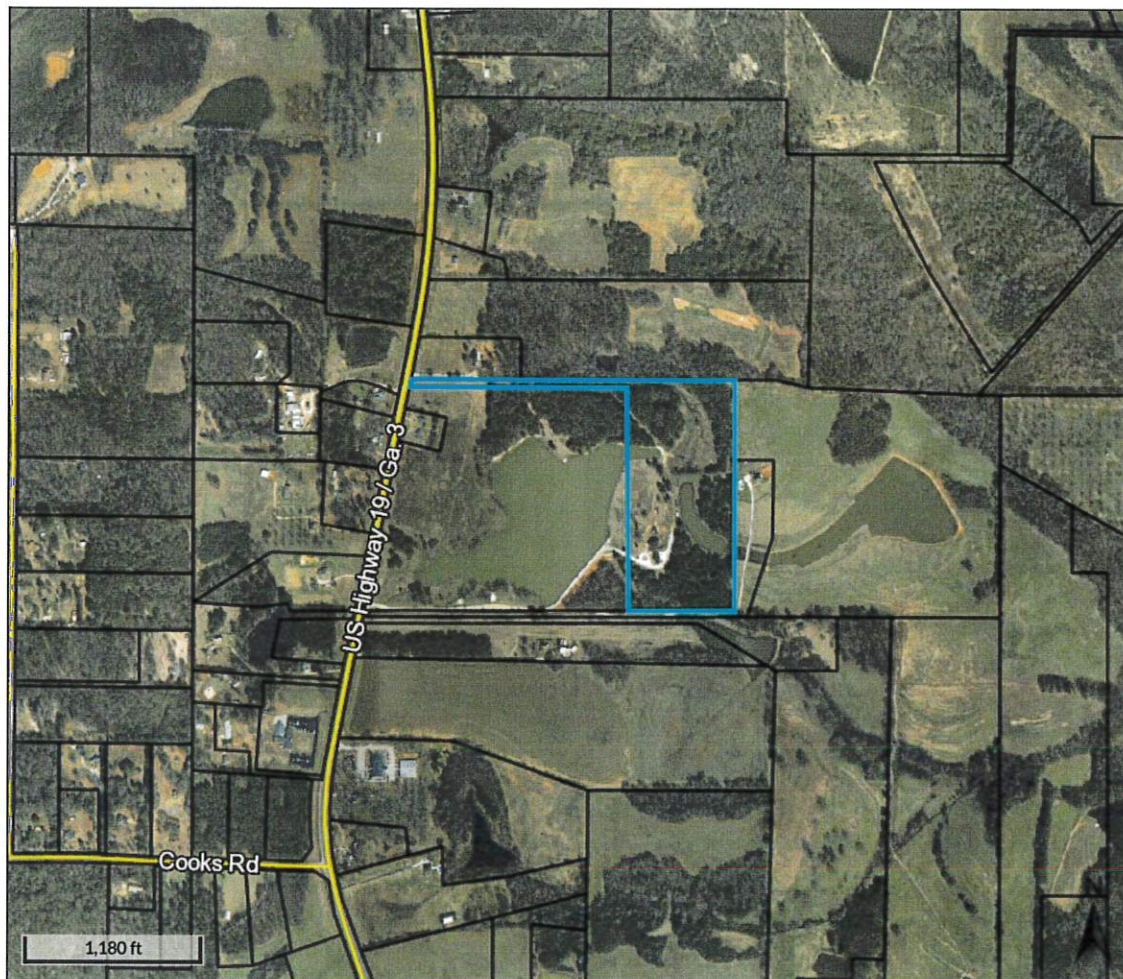
**Owner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Owner's Printed Name:** \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**Notary Public (signature & seal):** \_\_\_\_\_





#### Overview



#### Legend

- Parcels
- Roads
- Streams and River (Large)

#### Flood Map

- A - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Base Flood Elevations (BFE) have not been determined.
- AE - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Determined by detailed methods with Base Flood Elevations (BFE).
- VE: Coastal SFHA with BFE & velocity wave action - Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- X: 500 Year Flood - Areas of 0.2% annual chance flood

Parcel ID 069040B  
 Class Code Consv Use  
 Taxing District UNINCORPORATED  
 Acres 25.03

Owner LEE FLOYD S JR & JACQUELINE C  
 5168 U S HWY 19  
 ZEBULON, GA 30295  
 Physical Address 5168 U S HWY 19  
 Assessed Value Value \$709587

Last 2 Sales			
Date	Price	Reason	Qual
8/19/2020	0	QC	U
7/22/2011	0	CU	U

(Note: Not to be used on legal documents)

Date created: 6/4/2022  
 Last Data Uploaded: 6/3/2022 9:56:37 PM

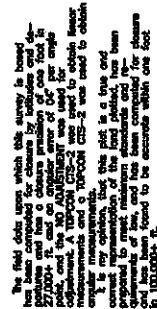
Developed by



P.O. BOX 1219 \* HIGHWAY 19 N \* ZEBULON, GA. 30295  
770-567-1000 \* 770-567-1007 (FAX)  
LAND SURVEYING, PLANNING & SUBDIVISION DESIGN

**S.I.C.**

LANDLOT	DISTRICT
232	8th
SCALE	COUNTY
1"=200'	PIKE
DATE OF FIELD WORK	
07/07/07	
DATE OF PLAT	
07/19/07	
JOB NO.	SHEET NO.



FLOYD S. LEE





## PIKE COUNTY BOARD OF APPEALS MONTHLY MEETING 6:00 p.m. June 16, 2022

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(1) Appeal application APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code, Commission District 2, Commissioner: Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal.**

(2) VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2nd District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(3) VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8th District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(4) VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1st District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620 +/- feet. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(5) SE-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1st District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

The Pike County Board of Commissioners will conduct a **PUBLIC HEARING** on June 28, 2022, at 6:30 pm at the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The public is invited to speak in favor or in opposition of the request.



SE-22-07 Photo Taken June 1, 2022

## PIKE COUNTY BOARD OF APPEALS

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VAR-22-08

### **SUBJECT:**

VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1<sup>st</sup> District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620+/- feet. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

### **ACTION:**

### **ADDITIONAL DETAILS:**

### **ATTACHMENTS:**

Type	Description
▣ Exhibit	Staff Report

### **REVIEWERS:**

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda





## PLANNING AND DEVELOPMENT OFFICE

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Phone: 770-567-2007

Fax: 770-567-2024

sparks@pikecoga.com

*"Serving Citizens Responsibly"*

**Case Number:** VAR-22-08

**Board of Appeals Meeting:** June 16, 2022

**Mailed Notices:** May 31, 2022

**Sign Posted:** June 1, 2022

**Owner:** Karen L. Strelecki

**Applicant:** Steve Reeves

**Property Location:** 5795 GA Highway 362  
Williamson, GA 30292  
Landlots: 183 and 184  
District: 1<sup>st</sup>  
Parcel ID: 025 021 and 038 002M

**Acreage:** 146.25+/- acres

**Commission District:** District 4, James Jenkins

**FEMA Data:** Does not lie within a flood zone.

**Request:** The applicant is requesting a variance to development regulations as they pertain to flag lots as outlined in Section 156.44 (R) of the Pike County Code. The requested variances are to the separation and length requirements of the access strip.

**Code Reference:** CH 156.43 (R) *Flag (Panhandle) lots, whether part of a minor subdivision or a major subdivision, shall not have their access strips abut one another, nor have their access strips be closer than 400 feet apart. These spacing restrictions shall also apply to proposed flag lots to be located in the proximity of existing flag lots. Georgia Department of Transportation requirements may require two flag lot access strips to abut one another when the access is upon a State highway thoroughfare and these and other, similar County road situations may be approved on a case by case basis through a variance application with the Board of Appeals. For A-R zoned tracts less than 25 acres, flag lot access strips shall be a maximum of 655 feet in total length and a minimum 40 feet of total width, without an approved variance. For A-R zoned tracts 25 acres or more, flag lot access strips*





## PLANNING AND DEVELOPMENT OFFICE

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Fax: 770-567-2024  
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*"Serving Citizens Responsibly"*

*shall be a maximum of 655 feet in total length and a minimum 80 feet of total width, without an approved variance.*

**Staff Analysis:** The Subject property is zoned A-R, Agricultural-Residential. The applicant is wanting to subdivide the subject property and create a subdivision with an airstrip. According to proposed plat the applicant is wanting to split the tract in to nine (9) new parcels and by doing so four (4) of the flag lots exceed the 655 foot length requirement for flag lot access strip and two of the proposed flags will abut each other and not meet the separation requirement of 400 feet. However, with this property being on a State Highway access is granted by GDOT and they have indicated they will require shared access for the flag lots that abut each other due to separation requirements.

### §156.26 VARIANCES

(A) *A variance is a permit, issued by the Board of Appeals, which allows use of a parcel of land in a way that does not meet certain requirements for the district in which the property is located. A variance may be granted only in an individual case where an extreme hardship would result if all of the requirements of this chapter were applied stringently to a particular piece of property. The hardship must be proven by showing beyond a doubt that reasonable use of the land is not possible if all of the requirements of this chapter are to be met. The hardship cannot be self-created such as:*

**(1) *A lot purchased with knowledge of an existing restriction;***

According to the applicant they were unaware that Pike County had a distance separation or length requirement for flag lot access strips when the land was purchased.

**(2) *A claim of hardship in terms of prospective sales;***

No hardship has been indicated for a prospective sale. However the applicant is intending to split the lot in order to construct a subdivision.



## PLANNING AND DEVELOPMENT OFFICE

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- (3) *An expressed economic need requiring a variance, when such a need can be met in other ways which would not require a variance.*

The need can only be met by meeting the separation requirement for flag lots as required by the ordinance or approving the requested variance. However, the length of the flag can only be met by a variance based on the depth of the existing parcel.

- (B) *Relief from the hardship and the variance must not cause substantial detriment to the public good or impair the purposes of this chapter.*

Allowing the proposed variances will not cause a substantial detriment to the public good or impair the purpose of this chapter.

### **Recommendation:**

Staff recommends **APPROVAL** of the variance with the following conditions:

1. Preliminary and final plat approval will be required before the lot can be subdivided and the proposed subdivision can be created.
2. Lots 6, 7 and 9 shall use a shared drive and an access easement agreement shall be required at final plat.

### **Attachments:**

- Application
- Tax Map
- Plat
- Proposed Plat
- Legal Ad
- Sign photo

PIKE COUNTY  
BOARD OF APPEALS

RECEIVED  
5/13/22

Application # VAR 22-08

Board of Appeals Public Hearing Date: 6-16-22

Board of Commissioners Public Hearing Date: \_\_\_\_\_

☐ Special Exception

☐ Special Use Permit

☒ Variance

☐ Appeal

Property Information: District(s): 1st Land Lot(s): 183 & 184 Acres: 146.25

Tax Map Parcel #: 025 021 Address if assigned: 5795 GA HWY 362  
038 002M

Description of Request: Variance request is for approval to  
put 2 FLAG LOT "POLES" SIDE BY SIDE  
AS REQUESTED BY GA D.O.T. & Variance  
ON 655' MAX POLE LENGTH

Code Reference(s): 156.41(R) & 156.41(Q) Present Zoning: A-R

Documentation Required: ☒ Copy of Recorded Plat ☒ Copy of Recorded Deed

☒ Letter of Explanation ☐ Health Department Letter of Approval ☒ Sketch or site plan (preferable)

☐ Agent Authorization (if needed) ☐ Other \_\_\_\_\_

Property Owner: Karen L. Strelecki Applicant: Steve Reeves for Karen L. STRELECKI

Address: 5795 Highway 362 Address: PO Box 653

City: Williamson State: GA Zip: 30292 City: Zebulon State: GA Zip: 30295

Phone/email: 706-752-0137 Phone/email: 770-581-5203  
kstrelecki@icloud.com

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: Karen L. Strelecki Date: 5/5/2022

Owner's Printed Name: Karen L. Strelecki

Sworn to and subscribed before me this 5th day of MAY, 20 22

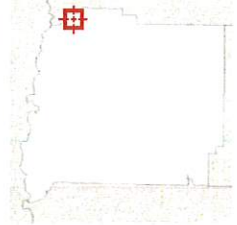
Notary Public (signature & seal): SR







#### Overview



#### Legend

- Parcels
- Roads
- Streams and River (Large)

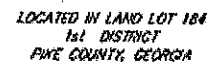
#### Flood Map

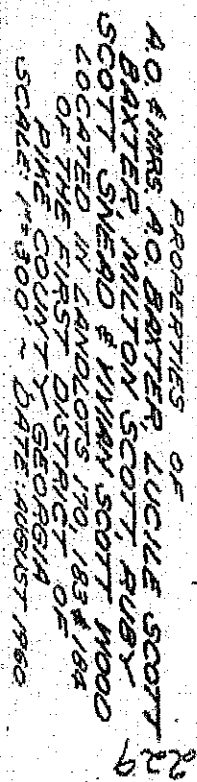
- A - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Base Flood Elevations (BFE) have not been determined.
- AE - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Determined by detailed methods with Base Flood Elevations (BFE).
- VE: Coastal SFHA with BFE & velocity wave action - Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- X: 500 Year Flood - Areas of 0.2% annual chance flood

Date created: 6/4/2022  
Last Data Uploaded: 6/3/2022 9:56:37 PM

Developed by  **Schneider**  
GEOSPATIAL





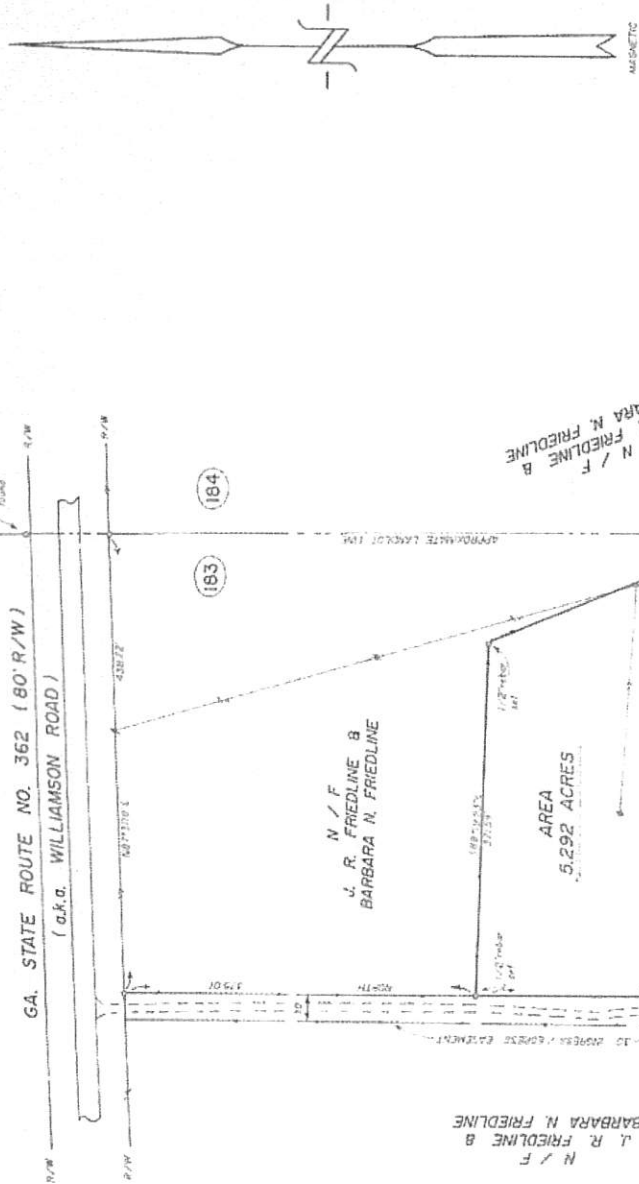


Fit Width (135%)

- SEWER LINE
- WATER LINE
- GAS LINE
- TELEPHONE LINE
- PLAGE LINE
- CONCRETE CURB
- PAVEMENT LANE
- RESERVED LANE
- LINE NOT TO SCALE

100' 100' 100'

GA. STATE ROUTE NO. 362 (80' R/W)  
(a.k.a. WILLIAMSON ROAD)



**NOTE:**  
BASED ON A FIELD INSPECTION AT THE TIME OF THE SURVEY IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE BOUNDARY LINES SHOWN HEREON DO NOT BE WITHIN A FLOOD HAZARD AREA.

**REFERENCE PLAT:**  
"PROPERTY OF ASHLEY B. FRIEDLINE & LARISA CAROLINE FRIEDLINE" PREPARED BY KENNETH E. PRESLEY, DATED MARCH 7, 1989 & RECORDED IN P.B. 8, PG. 136 OF THE COUNTY SUPERIOR COURT RECORDS.

This field data upon which this survey is based has been computed for closure by latitudes and departures and the closing error is 0.00' 0.00' 0.00' and the closing error per station is 0.00' 0.00' 0.00'. The closing error is within the limits of the Georgia Surveying Act, Chapter 37, Article 1, Section 1, which requires that the closing error per station be not more than 1/1000 of the length of the line being surveyed. A TRIPOLI was used to obtain linear measurements and a TRIPOLI was used to obtain angular measurements.

It is my opinion, that this plat is a true and correct representation of the land situated, has been prepared to meet the minimum standards, and is intended to be a true and correct representation of the land and has been computed for closure and has been found to be accurate within one foot in 500,000'.

*James R. Green*  
JAMES R. GREEN, R.L.S. NO. 2543  
MEMBER OF THE SOCIETY OF GEORGIA SURVEYORS

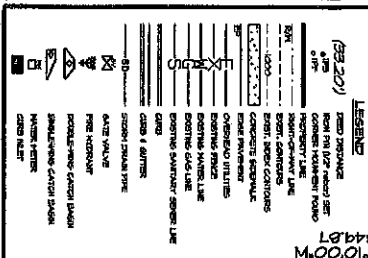


PROPERTY SURVEY FOR  
**OSMAN N. YAGCIOGLU**  
LOCATED IN LANDLOTS 183 & 184  
OF THE 1ST LAND DISTRICT  
PIKE COUNTY, GEORGIA  
SCALE: 1"=100' - JAN. 21, 1992

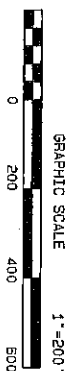
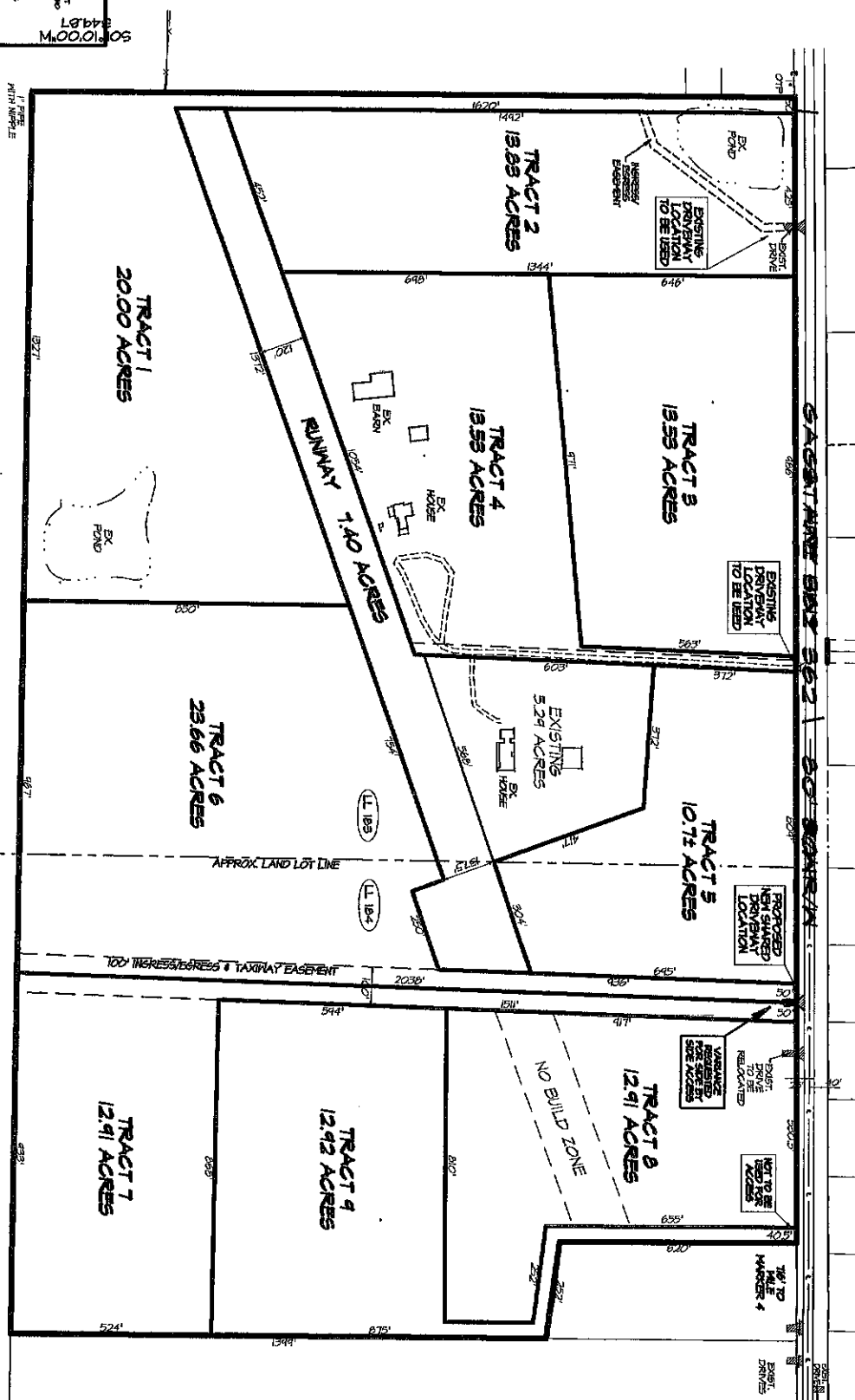
100 0 100 Feet Per Survey  
ONE INCH = 100 FEET  
Pike County, Georgia 30509  
Q. A. M. Date FEB 4 1992

PRESLEY, FARR & ASSOCIATES

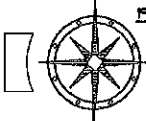
P



**PERSONNEL ROOM**  
KAREN L. STRELECKI  
265 PINE ST.  
MADISON, GA 30650  
5795 GA HWY 362  
WILLIAMSON, GA 30242  
706-752-0137



**SHEET 1 OF 1**



**PREPARED BY:**

# S.J. Reeves Land Surveying

P.O. BOX 038 \* 147 COOK ROAD \* ZEBULON, GA, 30295  
770-584-5203 \* [sjreevessurveying@gmail.com](mailto:sjreevessurveying@gmail.com) (EMAIL)  
LAND SURVEYING, PLANNING & SUBDIVISION DESIGN

**SITE PLAN:**

**STRELECKI PROPERTY  
FLAG LOT VARIANCE**

LAND LOT 183,184 1st DISTRICT PIKE COUNTY

DATE OF FIELD WORK:

N/A

DATE OF SURVEY PLAT.

05/13/2022

CITY:

N/A

REV.	DATE	DESCRIPTION
------	------	-------------

SCALE:

1" = 200'

**DRAWN BY:**

S.R



## PIKE COUNTY BOARD OF APPEALS MONTHLY MEETING 6:00 p.m. June 16, 2022

The Pike County Board of Appeals will conduct its scheduled monthly meeting on June 16, 2022, at 6:00 p.m. on the second floor of the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The Board will conduct PUBLIC HEARINGS on the following items:

(1) Appeal application APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal.**

(2) VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2nd District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(3) VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8th District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(4) VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1st District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620 +/- feet. Commission District 1, Commissioner Tim Dania. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(5) SB-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1st District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Dania. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

The Pike County Board of Commissioners will conduct a PUBLIC HEARING on June 28, 2022, at 6:30 pm at the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The public is invited to speak in favor or in opposition of the request.



SE-22-08 Photo Taken June 1, 2022

## PIKE COUNTY BOARD OF APPEALS

---

SE-22-02

### **SUBJECT:**

SE-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1<sup>st</sup> District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

### **ACTION:**

### **ADDITIONAL DETAILS:**

### **ATTACHMENTS:**

Type	Description
▣ Exhibit	Staff Report

### **REVIEWERS:**

Department	Reviewer	Action	Comments
County Clerk	Gilbert, Jeremy	Approved	Item Pushed to Agenda





PLANNING AND DEVELOPMENT  
OFFICE

*Planning – Zoning – Environmental – Permits & Inspections  
Code Enforcement*

P. O. Box 377  
77 Jackson Street  
Zebulon, GA 30295

Phone: 770-567-2007  
Fax: 770-567-2024  
sparks@pikecoga.com

*"Serving Citizens Responsibly"*

**Case Number:** SE-22-02

**Board of Appeals Meeting:** June 16, 2022

**Board of Commissioners:** June 28, 2022

**Mailed Notices:** May 31, 2022

**Sign Posted:** June 1, 2022

**Owner:** Robert and Marcia Williamson

**Applicant:** Verizon Wireless C/O Wendy Doyle

**Property Location:** Eastside of Beeks Road, North of Hollonville Rd  
Williamson, GA 30292  
Landlot: 218  
District: 1<sup>st</sup>  
Parcel ID: 039-026

**Acreage:** 85.31+/- acres

**Commission District:** District 1, Tim Danial

**FEMA Data:** Does not lie within a flood zone.

**Request:** Applicant and owner are requesting a special exception to build a new 195-foot-tall telecommunications tower on the subject property.

**Code Reference:** CH 113 Telecommunications Antenna and Tower Ordinance,  
CH 156 Zoning Code

**Staff Analysis:** The subject property is currently zoned A-R, Agricultural-Residential. New cell towers are only permissible via a special exception request. Per the A-R zoning code, towers must be constructed as monopole designs and have an interior setback from property lines of 200 feet.





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The applicant has submitted the enclosed information packet which include a site plan, visual impact study, co-location study, FAA no hazard determination, and as-built engineering plans.

CH 113.23 Requirements for the special exception process states:

*The Board of Appeals shall consider the following criteria, including compliance with this ordinance, in determining whether to approve an application for a Special Exception.*

**1. *Determination of whether the applicant is in conformity with goals set forth in this ordinance and the Comprehensive Plan;***

The application for special exception applications are in accordance with the ordinance. The Comprehensive Plan states “The development of more cellular coverage and universal broadband in Pike County needs to be promoted.” The Comprehensive Plan also identifies the second goal under the technology category as: “continue to expand cellular coverage in Pike County and eliminate major ‘dead zones.’”

**2. *Height of the proposed telecommunications structure;***

The height of the proposed tower will be 195 feet.

**3. *Proximity of the telecommunications structure to residential structures and residential zoning district boundaries;***

The tower will be more than 1000 feet away from the nearest residence and more than 200 feet away from all property lines.

**4. *Nature of uses on adjacent and nearby properties;***

The uses on adjacent properties are agricultural and residential.

**5. *Surrounding topography;***

The surrounding topography appears to be relatively flat and heavily wooded



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6. *Design of the telecommunications structure, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness;*

The design of the proposed tower is a 195 foot monopole structure.

7. *Proposed ingress and egress;*

Proposed ingress and egress will be from Beeks Rd.

8. *Whether the proposed telecommunications structure will have an adverse or negative visual effect on the surrounding properties.*

The structure will not be visible from other properties and should not have a negative effect.

9. *Whether the proposed telecommunications structure will diminish any property values in the surrounding area; and*

The new tower would not cause surrounding property to diminish in value.

10. *Whether alternative sites will provide necessary coverage.*

There are no alternative sites available to provide similar coverage.

**CH 156.27 states:**

- (E) The Board of Appeals will consider the following points in arriving at a recommendation on the special exception:**

- (1) It must not be contrary to the purposes of these regulations;**

Regulations require cell towers to be approved via the special exception process.

- (2) It must not be detrimental to the use or development of adjacent properties or to the general neighborhood and it must not adversely affect the health, safety or welfare of the residents or workers;**



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Fax: 770-567-2024  
sparks@pikecoga.com

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The request as proposed would not adversely affect adjacent properties nor endanger anyone's health, safety, or welfare.

- (3) **It must not constitute a nuisance or hazard because of the number of persons who will attend or use such a facility, vehicular movement, noise or fumes generated or type of physical activity;**

Noise and fumes would be virtually non-existent and there shouldn't be an increase in traffic as this is an unmanned facility.

- (4) **It must not adversely affect existing uses and it must be proposed to be placed on a lot of sufficient size to satisfy the space requirements of the use;**

The proposed use will not adversely affect existing uses the lot is sufficient in size to accommodate the proposed cell tower

- (5) **It must meet all other requirements of these regulations;**

All other requirements will be met.

- (6) **In addition, the Board of Appeals shall also consider whether the applicant for the special exception at the time of submitting the application is in violation of the Zoning Code or any other provision of Code of Pike County, Georgia. If the applicant is determined to be in violation of the Zoning Code or any other provision of the Code of Pike County, Georgia, then the Board of Appeals shall further consider the circumstances related to such violation(s) as part of the criteria for considering the requested special exception.**

The property is not currently in violation of any ordinances that we are aware of.





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Fax: 770-567-2024  
sparks@pikecoga.com

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### **Recommendation:**

Staff recommends **APPROVAL** of the Special exception application for a cell tower with the following conditions:

1. A building permit is required before construction can begin on the cell tower.
2. All applicable codes shall be met for the construction of a cell tower.

### **Attachments:**

- Application
- Tax Map
- Construction Plans
- Photo Simulation
- FAA Evaluation
- Structural Letter
- Needs Assessment
- Legal Ad
- Sign photo



**PIKE COUNTY  
BOARD OF APPEALS**

Application # SE-22-02

Board of Appeals Public Hearing Date: 6-16-22

Board of Commissioners Public Hearing Date: 6-28-22

☒ Special Exception

☐ Special Use Permit

☐ Variance

☐ Appeal

Property Information:

District(s): 1

Land Lot(s): 218

Acres: 85.31  
72.57

Tax Map Parcel #: 039-026

Address if assigned: \_\_\_\_\_

Description of Request: REQUEST TO PLACE A TELECOMMUNICATIONS TOWER  
FACILITY ON SITE TO SERVICE SURROUNDING AREA WITH  
ADDITIONAL CAPACITY FOR CELLULAR COMMUNICATIONS. REQUEST  
TO ERECT A 195' MONOPOLE AND FACILITY EQUIPMENT SITE.

Code Reference(s): \_\_\_\_\_ Present Zoning: \_\_\_\_\_

Documentation Required:

☐ Copy of Recorded Plat

☐ Copy of Recorded Deed

☐ Letter of Explanation

☐ Health Department Letter of Approval

☒ Sketch or site plan (preferable)

☐ Agent Authorization (if needed)

☐ Other \_\_\_\_\_

Property Owner: ROBERT AND MARCIA WILLIAMSON

Applicant: VERIZON WIRELESS

Address: <sup>near</sup> 174 BEEKS ROAD

Address: 10300 Old Alabama Connector  
ROAD

City: WILLIAMSON State: GA Zip: 30292

City: Alpharetta State: GA Zip: 30022

Phone/email: 770-262-2324

Wendy. doyle @ comcast . net (AGENT)  
Phone/email: marcia - williamson @ att . net (p.o.)

**Property Owner Authorization:** I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: Roger Williamson

Date: 5-3-22

Owner's Printed Name: Roger Williamson

Sworn to and subscribed before me this 3rd day of May, 2022.

Notary Public (signature & seal): Deirdre H. Chappell

Additional Property Owners (attach additional sheets as needed):

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: Marcia Williams Date: 5-3-22

Owner's Printed Name: Marcia Williams

Sworn to and subscribed before me this 3rd day of May, 2022.

Notary Public (signature & seal): David H. Chappell

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Printed Name: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public (signature & seal): \_\_\_\_\_

Property Owner Authorization: I declare to the best of my knowledge the information given on this application to be true, correct and accurate. I hereby authorize the staff of the Department of Planning and Development, members of the Board of Appeals and Board of Commissioners to inspect the property which is the subject of this application.

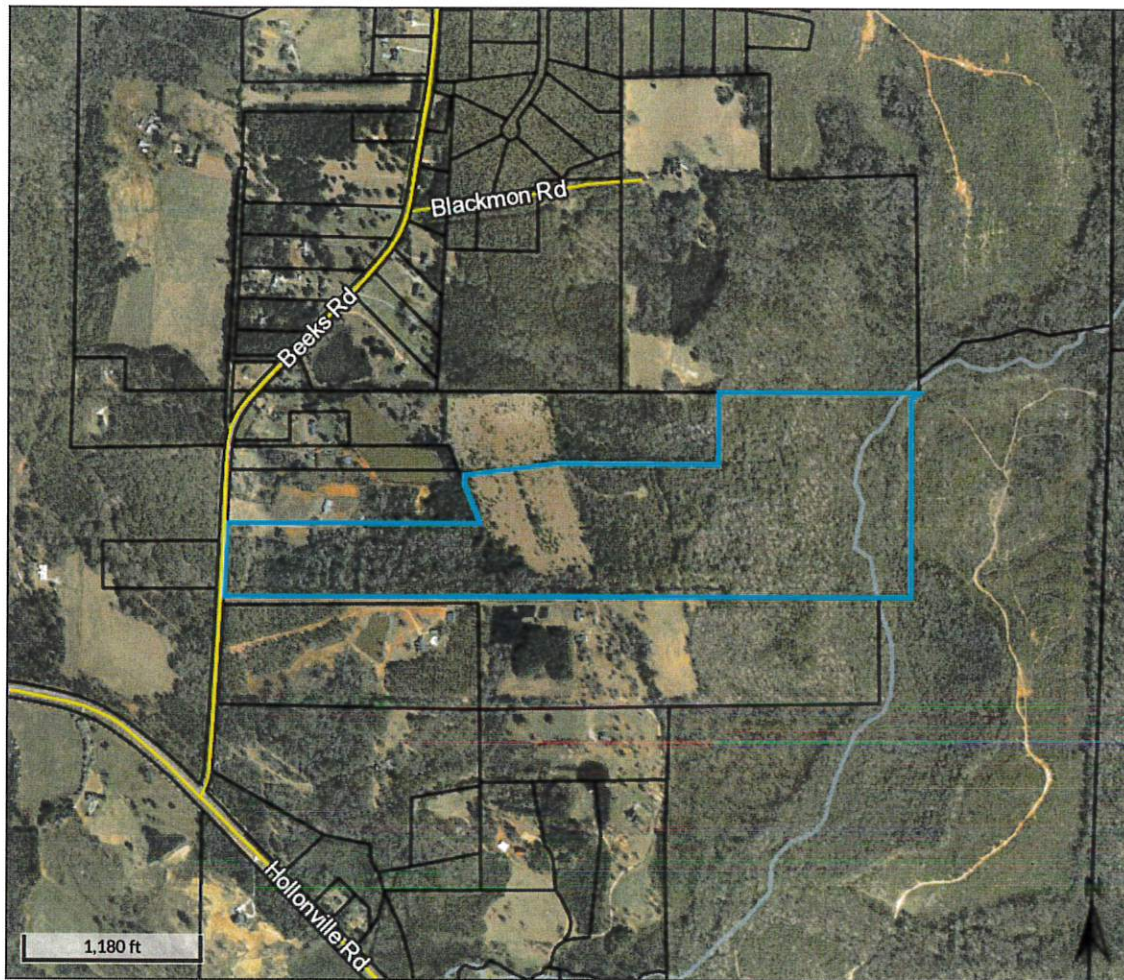
Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Printed Name: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public (signature & seal): \_\_\_\_\_





#### Overview



#### Legend

- Parcels
- Roads
- Streams and River (Large)

#### Flood Map

- A - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Base Flood Elevations (BFE) have not been determined.
- AE - 100 Year Flood Area - Areas of 1% annual chance flood also known as the base flood. Determined by detailed methods with Base Flood Elevations (BFE).
- VE: Coastal SFHA with BFE & velocity wave action - Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- X: 500 Year Flood - Areas of 0.2% annual chance flood

Parcel ID 039 026  
 Class Code Agricultural  
 Taxing District UNINCORPORATED  
 Acres 85.31

Owner WILLIAMSON ROGER & MARCIA  
 P O BOX 121  
 SENOIA, GA 30276  
 Physical Address BEEKS RD  
 Assessed Value Value \$327734

Last 2 Sales			
Date	Price	Reason	Qual
12/7/2020	\$265200	LM	Q
5/23/1997	0	QC	U

(Note: Not to be used on legal documents)

Date created: 6/4/2022

Last Data Uploaded: 6/3/2022 9:56:37 PM

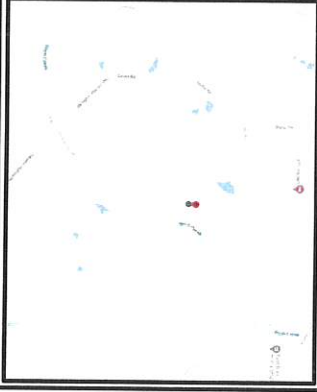
Developed by



# LOCATION MAP



# VIGNETTE MAP



# DRAWING DIRECTIONS

DIRECTIONS FROM ATLANTA, GA:  
 MERGE ONTO I-75 S/A-85 S. (2.3 MI) KEEP LEFT TO STAY ON I-75 S. (4.5 MI). KEEP LEFT TO STAY ON I-75 S. (2.8 MI) TAKE EXIT 235 TOWARD U.S. 19/U.S. 41/GA-3/GRFTN/JONESBORO. (0.7 MI) CONTINUE ONTO TAHA BLVD. (7.9 MI) KEEP RIGHT TO CONTINUE ON U.S. 19 S/U.S. 41 S. (2.4 MI) EXIT ONTO GA-382 W/WILLIAMSON RD. (0.3 MI) MERGE ONTO GA-382 W/WILLIAMSON RD. (6.0 MI) CONTINUE ONTO WILLIAMSON ZEBULON RD. (0.2 MI) CONTINUE ONTO GA-382 W. (2.5 MI) TURN LEFT ONTO BEERS RD. (1.8 MI) SITE ADDRESS ON THE LEFT.

DEPARTMENT	NAME/SIGNATURE	DATE
LAND/TOWER OWNER		
SITE ACQUL AGENT		
ZONING/PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF MANAGER		

# VERIZON SITE NAME: BEEKS D

VERIZON SITE #:  
**500272**

PROJECT DESCRIPTION:  
RAWLAND NSB

PROPOSED 195' MONOPOLE  
TOTAL TOWER HEIGHT INCLUDING THE APPURTENANCE - 199' AGL

# PREPARED FOR:



10300 OLD ALABAMA ROAD CONN.  
 ALPHARETTA, GA 30022  
 (404) 277-5500

# PREPARED BY:



158 BUSINESS CENTER DRIVE  
 BIRMINGHAM, AL 35244  
 TEL: 205-252-6985 FAX: 205-320-1504

# PROJECT INFORMATION

SITE ADDRESS:  
 1174 BEERS ROAD  
 WILLIAMSON, GA 30092  
 LATITUDE (NAD 83): N 33° 08' 39.311"  
 LONGITUDE (NAD 83): W 84° 24' 42.321"  
 LATITUDE (NAD DECI): N 33.144253°  
 LONGITUDE (NAD DECI): W 84.411756°  
 PARCEL ID: 039-028  
 JURISDICTION: PIKE COUNTY  
 PROPERTY OWNER: ROBERT & MARCIA WILLIAMSON  
 APPLICANT: VERIZON WIRELESS  
 10300 OLD ALABAMA ROAD CONN  
 ALPHARETTA, GA 30022

# ENGINEER:

SWM ENGINEERING  
 158 BUSINESS CENTER DRIVE  
 BIRMINGHAM, AL 35244  
 CONTACT: JEREMY SHART, PE  
 PHONE: 205-397-8781

# POWER:

SOUTHERN RIVERS ENERGY  
 FIBER COMPANY AWARDED BY VERIZON  
 AT FUTURE TIME. CONSULT CM

# DRAWING INDEX

TITLE SHEET & PROJECT INFORMATION
T-1 SURVEY
C-1 GENERAL NOTES
C-2 OVERALL SITE PLAN
C-2.1 OVERALL SITE PLAN
C-2.2 OVERALL SITE PLAN OVERLAY
C-2.3 OVERALL SITE PLAN OVERLAY
C-2.4 OVERALL SITE PLAN OVERLAY
C-3 DETAIL SITE PLAN
C-4 TOWER ELEVATION PLAN & DETAILS
C-5 FOUNDATION DETAILS
C-6 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.1 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.2 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.3 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.4 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.5 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.6 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.7 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.8 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.9 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.10 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.11 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.12 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.13 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-7.14 GRADING, SEDIMENT & EROSION CONTROL PLAN
C-8 GRADING, SEDIMENT & EROSION CONTROL DETAILS
C-8.1 GRADING, SEDIMENT & EROSION CONTROL VEG. SPECS
C-9 GRADING, SEDIMENT & EROSION CONTROL
C-10 SITE STORAGE
C-11 EROSION DETAILS
E-1 ELECTRICAL NOTES
E-2 ONE-LINE DIAGRAMS & PANEL SCHEDULE
E-3 UTILITY SITE PLAN
E-3.1 OVERALL UTILITY SITE PLAN
E-3.2 OVERALL UTILITY SITE PLAN
E-4 GROUNDING SITE PLAN
E-5 GROUNDING DETAILS
E-6 PRIMARY UTILITY FRAME DETAILS



GEORGIA ONE-CALL  
 STATE WIDE CALL: 811  
 CALL BEFORE YOU DIG



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

DATE: 05/12/22



SITE NAME  
BEEKS D

SWMF: 20-0819

PLAT ID: 18636897

PLAT #: 500272

DESIGNED: JDS

DRAWN: WSM

CHECKED: BS

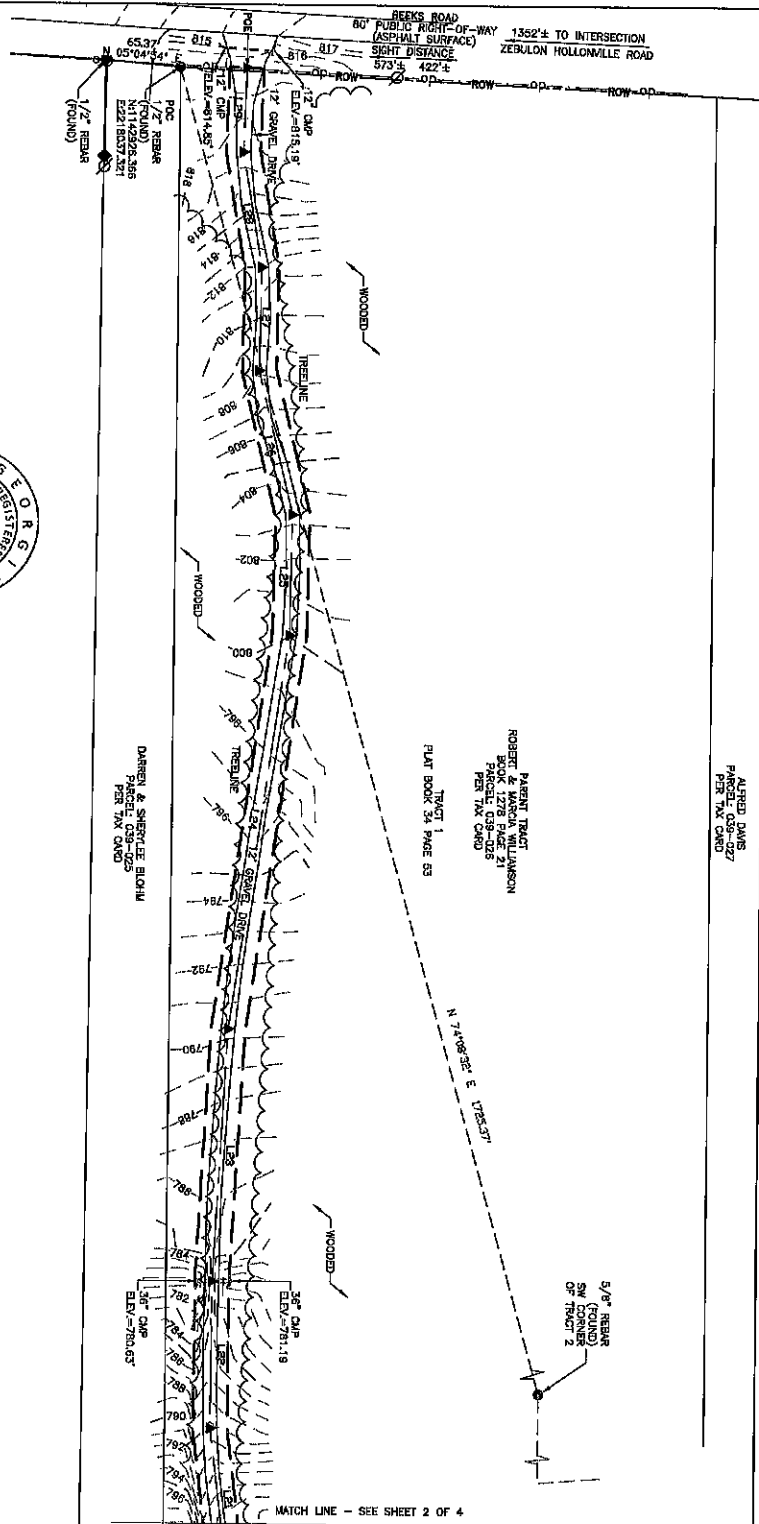
SHEET NAME

TITLE SHEET & PROJECT INFORMATION

SHEET NUMBER

T-1





ALFRED DAVIS  
PARCEL: 039-02  
PER TAX CARD

PARENT TRACT  
ROBERT & MARCIA WILLIAMSON  
BOOK 1278 PAGE 21  
PARCEL: 039-026  
PER TAX CARD

PLAT BOOK 34 PAGE 53

N 74°08'32" E 1725.3

5/8" REBAR  
(FOUND)  
SW CORNER  
OF TRACT 2

- MATCH LINE - SEE SHEET 2 OF 4

02-11-2022

U.S. TITLE SOLUTIONS  
Report of Title, File No. UST7042  
Date Issued: 4/20/23

### Schedule III Exceptions

<u>Exception No.</u>	<u>Instrument</u>

5.1 Book 34, Page 53

Book 5, Page 47

Standard exceptions. Contain no survey matters.  
Boundary survey for parent tract, but contains no encumbrances or encumbrances that affect Lease Area or Easement.  
Boundary survey for Tract 2 (Pict Book 34, Page 53) parent tract, but contains no encumbrances or encumbrances that affect Lease Area or Easement.

NOTE: SEE PARENT TRACT  
OVERVIEW ON SHEET 4 OF 4

0 100' 200'

SCALE: 1" = 100'

## M2C: Geometry and Trigonometry

**M2C Geomatics and Design, PLLC**  
4600 FEE WOODS BOULEVARD  
KURTZ, VA 22949  
202-241-4155  
[www.m2cga.com](http://www.m2cga.com)

BEEKS, C  
20181830965 / 500272  
LAND LOTS 218 & 219, 1st DISTRICT  
PIKE COUNTY, GEORGIA

LOWER INFO

VICINITY MAP

0

NET 10 SCALE

GRID TO TRUE NORTH  
CONVERGENCE  
0°08'02.241"

TRUE NORTH TO MAGNETIC  
DECLINATION  
0°15' W

COMBINED SCALE FACTOR  
0.9999306444

## LEGEND

POINT OF ENDING

LAND LOT

ic plating only. The

**Asian disinflated**  
to 0.2% annual rate

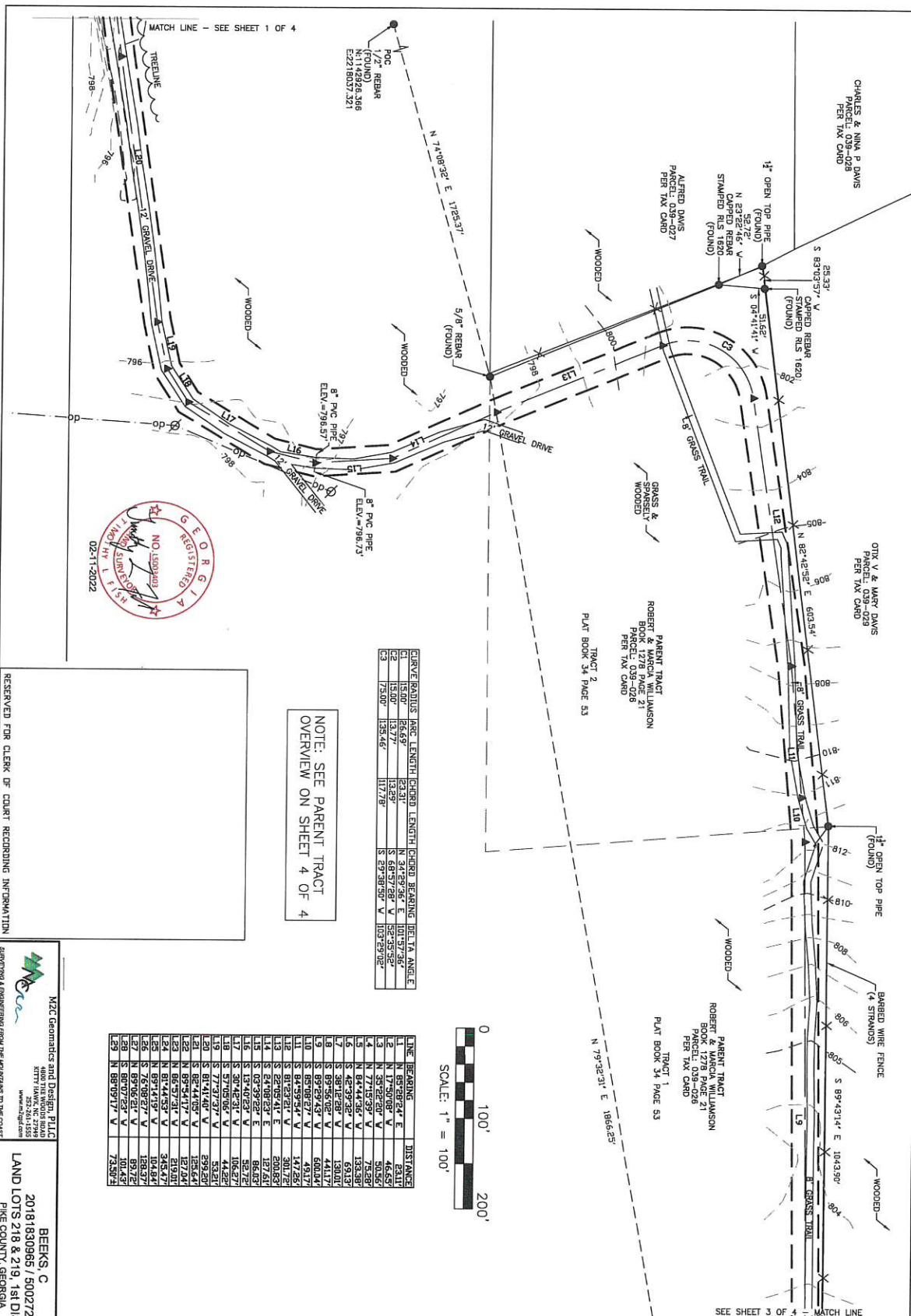
NTY. GEORGIA

**SMW**  
ENGINEERING GROUP, INC.

SMW Engineering Group, Inc.  
168 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-262-6985  
[www.smweng.com](http://www.smweng.com)

FOR: **verizon** VERIZON WIRELESS  
10300 OLD ALABAMA ROAD, CONN.  
ALPHARETTA, GA 30022  
(678) 277-3500

DRAWN BY: KM CHECKED BY: PMK FIELD CREW: T APPROVED BY: RLF DATE: 10/13/21 SCALE: 1" = 100'	PROJECT NO. 20-0818	NO.	REVISION	DATE	BY
		1.	ADDITION OF 1000' RADIUS SETBACK	10/15/21	KM
		2.	REVISED EASEMENT	11/02/21	PMK
		3.	TITLE COMMITMENT	01/31/22	PMK



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	BEARING	DELTA ANGLE
C1	15.00'	26.69'	23.31'	N 34°29'36" E	101°57'36"
C2	15.00'	13.77'	13.29'	S 66°57'28" W	52°35'52"
C3	75.00'	135.46'	117.78'	S 23°30'50" W	103°29'02"

[illegible]

0 100' 200'

SCALE: 1" = 100'

NOTE: SEE PARENT TRACT  
OVERVIEW ON SHEET 4 OF 4

RESERVED FOR CLERK OF COURT RECORDING INFORMATION

 M2C Geomatics and Design, PLLC  
4800 THE WOODS ROAD  
KITTY HAWK, NC 27949  
252-261-1555  
[www.m2cgeod.com](http://www.m2cgeod.com)

BEEKS, C  
20181830965 / 500272  
LAND LOTS 218 & 219, 1st DISTRICT  
PIKE COUNTY, GEORGIA



**SNW**  
ENGINEERING GROUP, INC.

**SMW Engineering Group, Inc.**  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6985  
[www.smweng.com](http://www.smweng.com)

RAWLAND TOWER SURVEY

FOR:



VERIZON WIRELESS  
10300 OLD ALABAMA ROAD CONN.  
ALPHARETTA, GA 30022  
(678) 277-3500

DRAWN BY: KM  
CHECKED BY: M  
FIELD CREW: TR  
APPROVED BY:  
DATE: 10/13/20  
SCALE: 1" = 1'  
SHEET 2 OF 4

PROJECT NO	20-0819
------------	---------

NO.	REVISION	DATE	BY
1.	ADDITION OF 1000' RADIUS SETBACK	10/15/21	KM
2.	REVISED EASEMENT	11/02/21	PW
3.	TITLE COMMITMENT	01/31/22	PW

# SURVEYOR'S NOTES

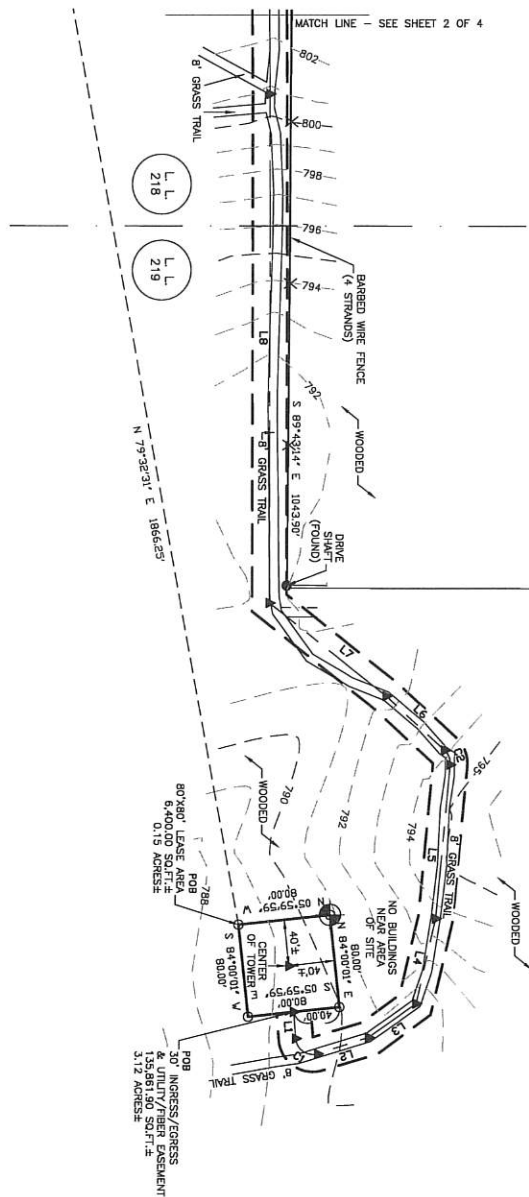
1. This is a Rawland Tower Survey, made on the ground under the supervision of the Surveyor.
2. The following surveying instruments were used at time of field visit: Topcon CH-55 and Topcon Hiper SR G.P.S. receiver, (R-T-K, network capable).
3. Bearings are based on Georgia West State Plane Coordinates NAD 83 by GPS observation.
4. All underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown.
5. Trees and shrubs not located, unless otherwise shown.
6. This survey was conducted with the aid of a continuously operating reference station, PID 100272, which is shown hereon. Elevation shown on it in feet and refer to NAVD 88.
7. This survey was conducted for the purpose of a Rawland Tower Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, or local agency.
8. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.
9. This survey was conducted with the benefit of an Abstract. This search, however, was not made by the Surveyor.
10. The proposed centerline of the tower core accurate to within +/- 20 feet horizontally and to within +/- 3 feet vertically (FPA Accuracy Code 1A).
11. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class A Survey.
12. The proposed tower core is based on a closure precision of not less than one-foot in 15,000 feet (1:15,000) and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverses were not adjusted.
13. This survey does not constitute a boundary survey of the Parent Tract. Any parent tract property lines shown hereon are from supplied information and may not be field verified.
14. The survey was not made without the original signature and the original seal of a state licensed surveyor.
15. Based on aerial imagery it appears there are no buildings located within the 1000' radius circle, displayed on the Parent Tract Overview (Sheet 4 of 4). This information is approximate and is not field verified.

JEFF TURNER ETAL  
PARCEL: 039-045  
PER TAX CARD



OTX V & MARY DAVIS  
PARCEL: 039-046  
PER TAX CARD

ROBERT & JARVIS WILLIAMSON  
PARCEL: 039-028  
PER TAX CARD  
PLAT BOOK 34 PAGE 53



NOTE: SEE PARENT TRACT  
OVERVIEW ON SHEET 4 OF 4

MAC Geomatics and Design, PLLC  
4800 THE WINDSOR ROAD  
KATY, TEXAS 77459  
www.mactg.com

BECKS, C  
20181830965 / 500272  
LAND LOTS 218 & 219, 1st DISTRICT  
PIKE COUNTY, GEORGIA



SMW Engineering Group, Inc.  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6985  
www.smweng.com

RAWLAND TOWER SURVEY

FOR: **verizon**

VERIZON WIRELESS  
10300 OLD ALABAMA ROAD CONN.  
ALPHARETTA, GA 30022  
(678) 277-3500

NO.	REVISION	DATE	BY
1.	ADDITION OF 1000' RADIUS SETBACK	10/15/21	KM
2.	REVISED EASEMENT	11/02/21	PKW
3.	TITLE COMMITMENT	01/31/22	PKW

PROJECT NO. 20-0119

DRAWN BY: KM  
CHECKED BY: PKW  
FIELD CREW: TP  
APPROVED BY: TLF  
DATE: 10/13/21  
SCALE: 1" = 100'  
SHEET 3 OF 4



PARENT TRACT (BOOK 1278 PAGE 21)  
All that tract or parcel of land lying and being in Land Lot 218 & 219 of the 1st District of Pike County, Georgia, and being more particularly shown and designated as TRACT 1 - 80.700 acres on that certain plat of survey entitled "Survey for Roger Thomas Williamson", prepared by Swinson A. Goskins, St. Georgia Registered Land Surveyor, dated November 18, 2020, and recorded November 24, 2020 in Plot Book 34, Page 53 in the Office of the Clerk of the Superior Court, Pike County, Georgia, and said plot together with the metes, bounds, courses and distances contained therein are hereby conveyed, conditions, restrictions and easement of record.

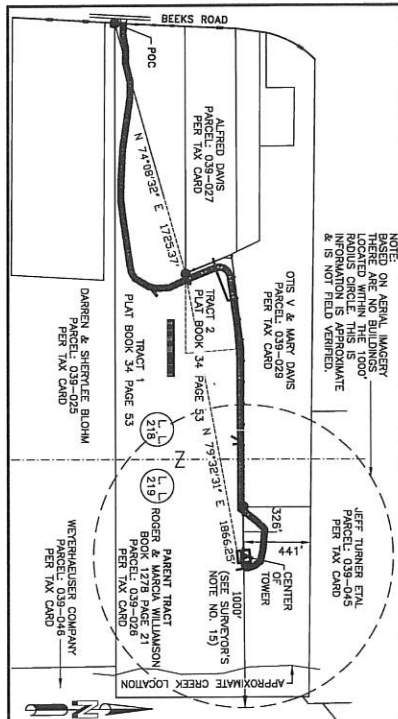
80' x 80' LEASE AREA (AS-SURVEYED)  
A portion of the Williamson tract described in Book 1278, Page 21 as recorded in the Office of the Clerk of the Superior Court of Pike County, Georgia, lying and being in Land Lot 219 of the 1st Land District of Pike County, Georgia, and being more particularly described as follows:  
Beginning at a point on the East Right-of-Way of Beaks Road, on 80 foot public right-of-way, and the southeast corner of Tract 1 as depicted and recorded in Plot Book 34, Page 53, having Georgia West State Plane coordinates: N11142926.566 E2218037.321; thence leaving said right-of-way run N 74°08'32" E for a distance of 1225.37 feet to a 5/8" rebar found marking the southwest corner of Tract 2 as depicted and recorded in Plot Book 34, Page 53; thence run N 79°32'31" E for a distance of 1866.25 feet to a set 5/8" rebar and the Point of Beginning, thence run N 05°59'59" W for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 05°59'59" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" W for a distance of 80.00 feet to the Point of Beginning. Said Lease area contains 8,400.00 square feet or 0.15 acres, more or less.

30' INGRESS/EGRESS & UTILITY/FIBER EASEMENT (AS-SURVEYED)  
A portion of the Williamson tract described in Book 1278, Page 21 as recorded in the Office of the Clerk of the Superior Court of Pike County, Georgia, lying and being in Land Lots 218 & 219 of the 1st Land District of Pike County, Georgia, and being more particularly described as follows:  
Beginning at a point on the East Right-of-Way of Beaks Road, on 80 foot public right-of-way, and the southeast corner of Tract 1 as depicted and recorded in Plot Book 34, Page 53, having Georgia West State Plane coordinates: N11142926.566 E2218037.321; thence leaving said right-of-way run N 74°08'32" E for a distance of 1225.37 feet to a 5/8" rebar found marking the southwest corner of Tract 2 as depicted and recorded in Plot Book 34, Page 53; thence run N 79°32'31" E for a distance of 1866.25 feet to a set 5/8" rebar, thence run S 84°00'01" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 05°59'59" W for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" W for a distance of 80.00 feet to the Point of Beginning, thence run N 05°59'59" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 05°59'59" W for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" W for a distance of 80.00 feet to the Point of Beginning. Said Easement contains 8,400.00 square feet or 0.15 acres, more or less.

Commenting at a 1/2" rebar found marking the East Right-of-Way of Beaks Road, on 80 foot public right-of-way, and the southeast corner of Tract 1 as depicted and recorded in Plot Book 34, Page 53, having Georgia West State Plane coordinates: N11142926.566 E2218037.321; thence leaving said right-of-way run N 74°08'32" E for a distance of 1225.37 feet to a 5/8" rebar found marking the southwest corner of Tract 2 as depicted and recorded in Plot Book 34, Page 53; thence run N 79°32'31" E for a distance of 1866.25 feet to a set 5/8" rebar, thence run S 84°00'01" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 05°59'59" W for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" W for a distance of 80.00 feet to the Point of Beginning, thence run N 05°59'59" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" E for a distance of 80.00 feet to a set 5/8" rebar, thence run S 05°59'59" W for a distance of 80.00 feet to a set 5/8" rebar, thence run S 84°00'01" W for a distance of 80.00 feet to the Point of Beginning. Said Easement contains 8,400.00 square feet or 0.15 acres, more or less.

PARENT TRACT OVERVIEW

NOT TO SCALE



SURVEYOR'S CERTIFICATION

I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Georgia to the best of my knowledge, information, and belief.

This plat is a restatement of an existing parcel of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of this plat does not imply approval of any local jurisdiction, including the Department of Transportation, for the use of the land shown on this plat. The minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-8-67.

TIMOTHY L. FISH, G.S.L.S. # 003403

M2C Geomatics and Design, PLLC  
1800 THE WILSON ROAD  
KATY, TEXAS 77450  
281.336.1155  
www.m2cga.com

BECKS, C  
2018130965 / 500272  
LAND LOTS 218 & 219, 1st DISTRICT  
PIKE COUNTY, GEORGIA

RESERVED FOR CLERK OF COURT RECORDING INFORMATION



SMW Engineering Group, Inc.  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6965  
www.smweng.com

RAWLAND TOWER SURVEY

FOR: VERIZON WIRELESS  
10300 OLD ALABAMA ROAD CONN.  
ALPHARETTA, GA 30022  
(678) 277-3500

DRAWN BY: KM  
CHECKED BY: PKM  
FIELD CREW: TP  
APPROVED BY: TLF  
DATE: 10/15/21  
SCALE: N.T.S.  
SHEET 4 OF 4

NO.	REVISION	DATE	BY
1.	ADDITION OF 1000' RADIUS SETBACK	10/15/21	PKM
2.	REVISED EASEMENT	11/02/21	PKM
3.	TITLE COMMITMENT	01/31/22	PKM

PROJECT NO. 20-0819



1. ALL CONSTRUCTION TO COMPLY WITH THE FOLLOWING CODES PLUS LATEST STATE AMENDMENTS

- INTERNATIONAL BILLING CODE - 2000 EDITION
- NETA NATIONAL ELECTRICAL CODE - 2011 EDITION
- INTERNATIONAL ELECTRICAL CODE - 2008 EDITION
- INTERNATIONAL FIRE ALARM CODE - 2008 EDITION
- INTERNATIONAL PLUMBING CODE - 2009
- INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS - 2008 EDITION
- INTERNATIONAL RESIDENTIAL CODE - 2009 EDITION
- MASTEC CODE ASSC 5-10
- STRUCTURAL CONCRETE CODE - ACI 318-11
- INTERNATIONAL DESIGN CONSERVATION CODE - 2008 EDITION
- INTERNATIONAL STANDARDS FOR STEEL, ALUMINUM, TITANIUM AND ALUMINUM SUPPORTING STRUCTURES (DIN EN 222-9)

1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

- [illegible]

ROOF LIVE LOAD = 20 PSF

2. DESIGN WIND LOADS:  
DESIGN WIND SPEED = 105 MPH  
DESIGN WIND SPEED = 105 MPH  
EXPOSURE C

2. TEST ALL COMPONENTS UPON COMPLETION OF INSTALLATION TO ENSURE THAT ALL ITEMS HAVE BEEN PROPERLY INSTALLED AND ARE OPERATIONAL AS INTENDED

- [illegible]

1. DESIGN & CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318 "BUILDING

- CODE REQUIREMENTS FOR REINFORCED CONCRETE.
1. CONCRETE SHALL BE NORMAL WEIGHT OR AIR ENTRAINED (4-11.5) TO A MAXIMUM 4" SLUMP AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
2. PORTLAND CEMENT SHALL BE TYPE I.
3. AGGREGATE SHALL BE 1/2" MAX. SIZE.
4. MAXIMUM WATER-CEMENT RATIO SHALL BE 0.50.
5. MAXIMUM SPACING OF REINFORCING BARS SHALL BE 16" IN SLABS AND 18" IN WALLS.
6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
7. REINFORCING SHALL BE EPOXY COATED UNLESS OTHERWISE SPECIFIED.
8. SLAB CONNECTION TO BEAT AIDS UNLESS LIMITED OTHERWISE. SPACES SHALL BE CLASS "B" AND HOOKS SHALL BE CLASS "A".
9. MINIMUM COVER FOR REINFORCING SHALL BE:
- CONCRETE COVER SHALL BE:
- NON-EXPOSED SLAB & WALL 1 1/2 IN
- EXPOSED SLAB & WALL 2 IN
- 3/4" & 3/8" COVER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301.
10. INSTALLATION OF CONCRETE REINFORCEMENT ANCHOR SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. NO REINFORCING SHALL BE CUT WITHOUT ENGINEER APPROVAL.
11. ADVERTISING SHALL CONFORM TO THE APPROPRIATE STATE STANDARD AS REBROKEN IN ACI 301.
12. ALL PRELAYS SHALL BE IN PLACE PRIOR TO CONCRETE PLACEMENT.
13. CONCRETE SHALL BE CURED WITH WET BURLAP OR PAPER TO PREVENT CRACKING.
14. FORMWORK SHALL BE CAPABLE OF WITHSTANDING ALL LOADS AND CONDITIONS.
15. DO NOT ALLOW CONCRETE SUBJECT TO FREEZE DURING CONCRETE CURING.
16. FOR OLD WORKMAN & NEW WORKMAN, CONCRETE TO BE APPLIED AD DRESS AND RECOMMENDATIONS.
- CONCRETE, REINFORCED & LAY TANK LINES**
1. CURRENT CODES SHALL BE USED.
2. ALL REINFORCED CONCRETE AND DRESS/LAY TANK INSIDE OR OUTSIDE MUST MEET ALL APPLICABLE INPA.
3. ALL REINFORCED CONCRETE INSULATED AT THE SITE MUST BE PRESSURE TESTED FOR LEAK. CODE REINFORCEMENT SHALL BE 12" MIN. THICK.
4. IN FLOOD ZONES LAY TANK FOUNDATION MUST BE INCREASED FROM A DEPTH OF 4' TO 20' TO PREVENT TANK FROM FLOATING IN A FLOOD.

2 ALL PILING CONNECTION INSTALLED AT THE SITE MUST BE PRESSURE TESTED PER LOCAL CODE REQUIREMENTS.

5. IN FLOOD ZONES LEAD TANK FOUNDATION MUST BE INCREASED FROM A DEPTH OF 4" TO 20" TO PREVENT TANK FROM FLOATING AWAY IN A FLOOD.

BEEKS D	SWMF: 20-0819
	FUZE ID: 1636897
	PLIC #: 500272
	DESIGNED: JDS
	DRAWN: WSM
	CHECKED: BS
SHEET NAME	
GENERAL NOTES	
SHEET NUMBER	
C-1	



05/12/22	✓	SITE NAME	
		BEEKS D	
		SMW#: 20-0819	
		FUZE ID: 16636697	
		PSLC #: 500272	
		DESIGNED: JDS	
		DRAWN: WSM	
		CHECKED: BS	

OVERALL SITE PLAN

SHEET NUMBER

C-2



1 OVERALL SITE PLAN  
C-2





DATE	DESCRIPTION
01/10/21	ISSUED FOR CLIENT REV.
04/13/22	ISSUED FOR CONSTRUCTION
05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME	05/12/22
BEEKS D	
SHW#: 20-0819	
FUZE ID: 16636667	
PLC #: 500272	
DESIGNED: JDS	
DRAWN: WSM	
CHECKED: BS	
SHEET NAME	

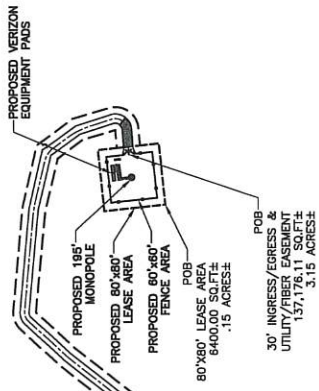
OVERALL SITE PLAN
SHEET NUMBER
C-2.1



JEFF TURNER ETAL  
PARCEL 039-045  
PER TAX CARD

PARENT TRACT  
ROBERT & MARA WILLIAMSON  
BOOK 1275 PAGE 21  
PARCEL: 039-026  
PER TAX CARD  
TRACT 1  
PLAT BOOK 34 PAGE 53

OTIX V & MARY DAVIS  
PARCEL 039-029  
PER TAX CARD



SUBJECT PROPERTY IS LOCATED IN PANEL # 13231CD0508, DATED 08/11/2009 AND IS IN THE BASE FLOOD ZONE AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

1 OVERALL SITE PLAN  
C-2.1



CONTINUED ON C-2





1  
C-22 OVERALL SITE PLAN OVERLAY

SUBJECT PROPERTY IS LOCATED IN PANEL # 13231C00508, DATED 09/11/2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME	BECKS D
DATE	09/12/22
SCALE	20'-0819
PLC ID	1663697
PLC #	500272
DESIGNED	JOS
DRAWN	MSH
CHECKED	BS

SHEET NAME	OVERALL SITE PLAN OVERLAY
SHEET NUMBER	C-2.2







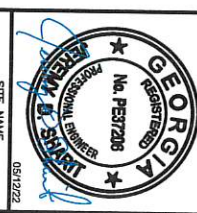


1 OVERALL SITE PLAN OVERLAY  
C-2.4

SUBJECT PROPERTY IS LOCATED IN PANEL # 1233100050B, DATED 09/11/2009 AND IS IN THE FLOOD ZONE "X" AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME  
BEEKS D

09/12/22

SW# 20-0819

FLZE ID: 16636897

PLC #: 500272

DESIGNED: JDS

DRAWN: WSA

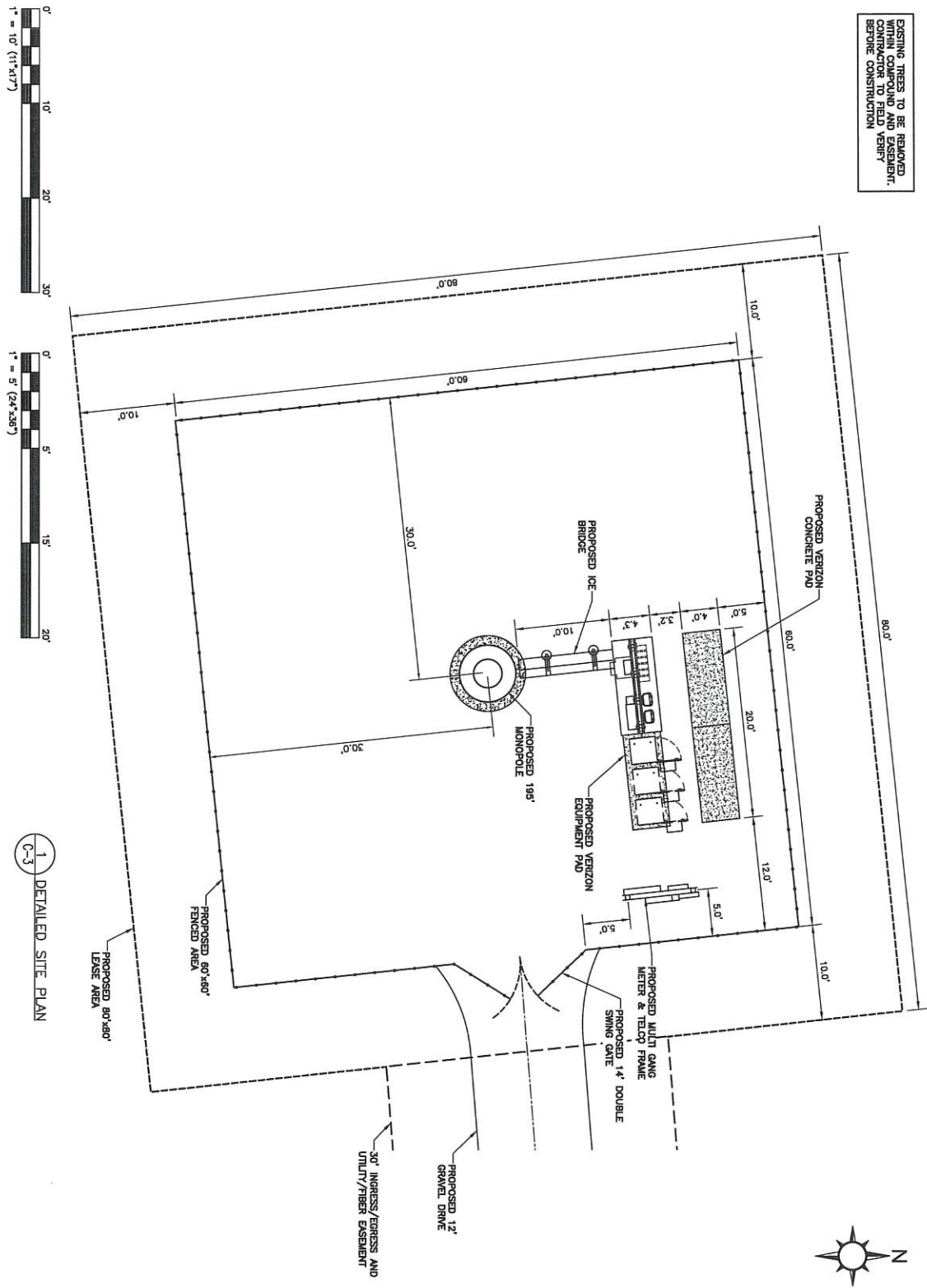
CHECKED: BS

SHEET NAME  
OVERALL SITE PLAN  
OVERLAY

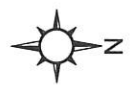
SHEET NUMBER  
C-2.4



EXISTING TREES TO BE REMOVED  
WITHIN COMPOUND AND EASEMENT.  
CONTRACTOR TO FIELD VERIFY  
BEFORE CONSTRUCTION



1  
C-3 DETAILED SITE PLAN



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME: BEEKS D

DATE: 20-08-19

FLUE ID: 16636997

P.L.C. #: 500272

DESIGNED: JDS

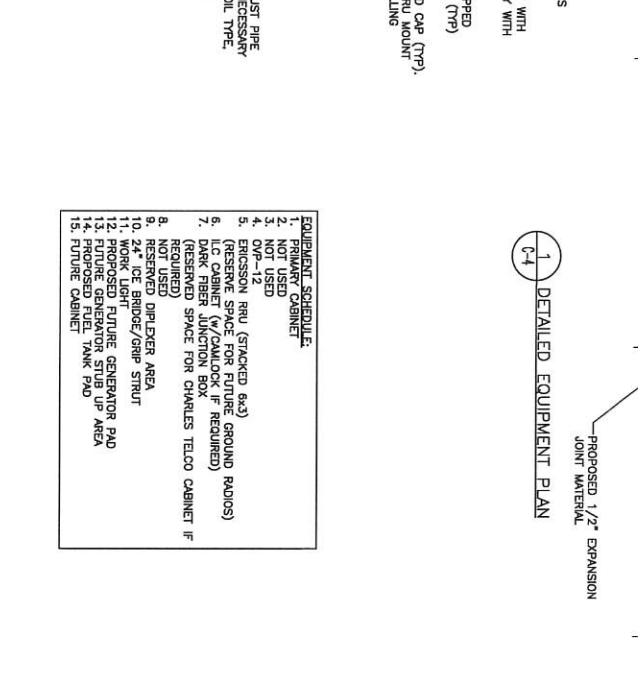
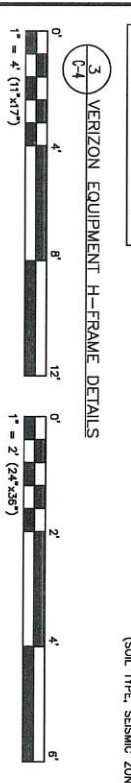
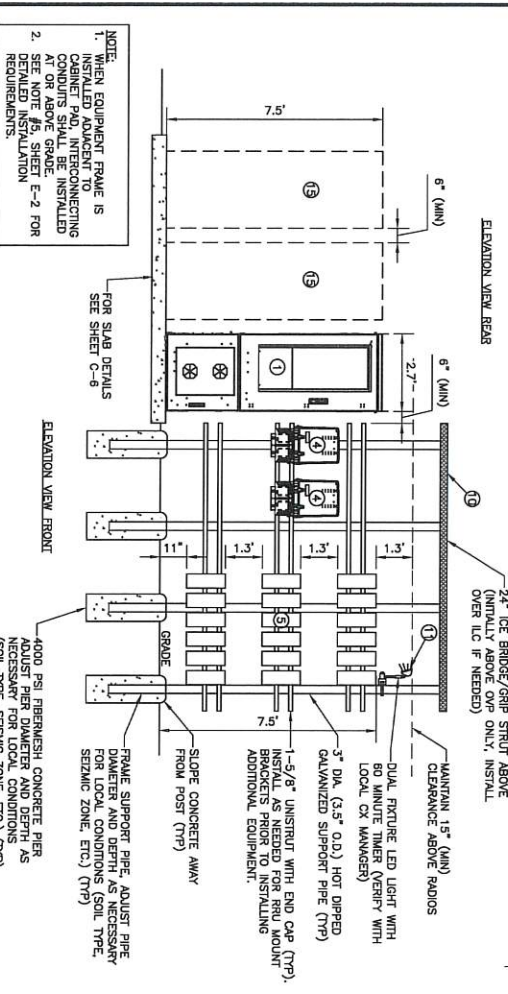
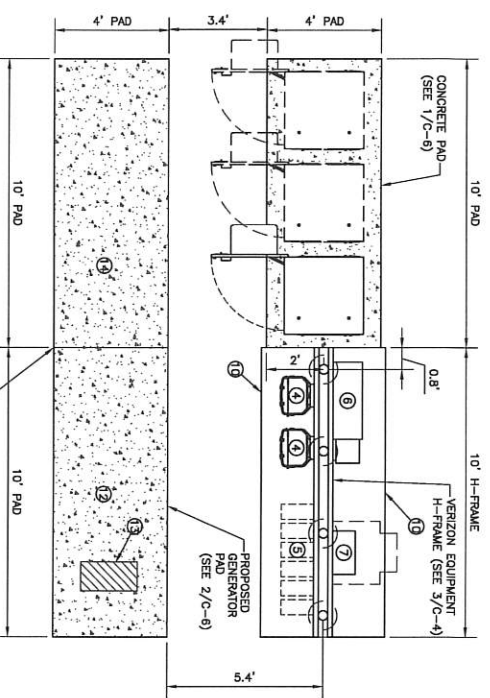
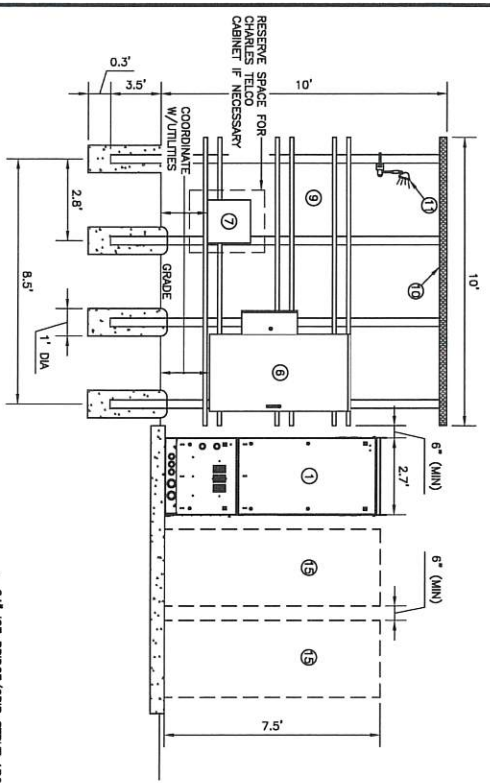
DRAWN: WSL

CHECKED: BS

SHEET NAME: DETAILED SITE PLAN

SHEET NUMBER: C-3





**verizon**

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

DR: CA PE005825

**GEORGIA**  
REGISTERED PROFESSIONAL ENGINEER  
No. PE57208  
LEAH B. BEEKS

SITE NAME: BEEKS D

SMW#: 20-0819

PLC ID: 1665697

PLC #: 500272

DESIGNED: JWS

DRAWN: WSM

CHECKED: BS

SHEET NAME: DETAILED EQUIPMENT PLAN & DETAILS

SHEET NUMBER: C-4



#	DATE	DESCRIPTION:
1	11/10/21	ISSUED FOR CLIENT REV.
2	04/13/22	ISSUED FOR CONSTRUCTION
3	05/12/22	ISSUED FOR CONSTRUCTION

QAF: GA PER005625



SITE NAME  
BEEKS D

SAME: 20-0819

FLUE ID: 16636897

PSLC #: 500272

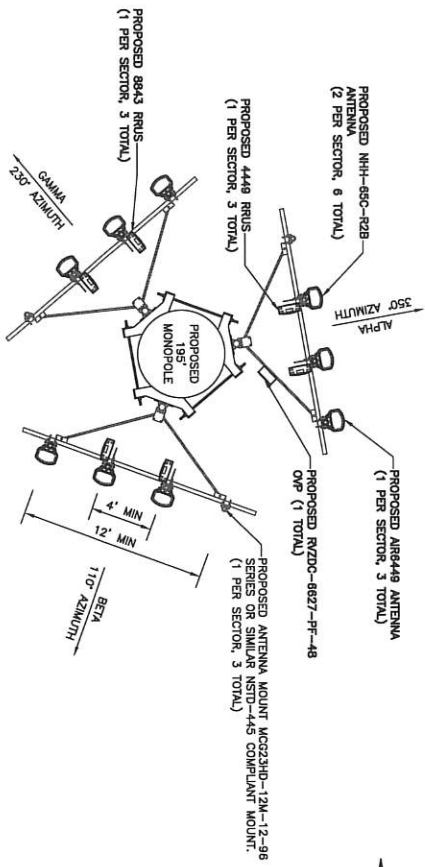
DESIGNED: JDS

DRAWN: WSW

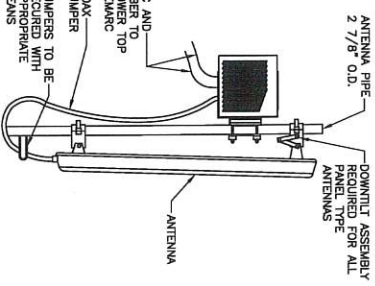
CHECKED: BS

SHEET NAME  
TOWER ELEVATION  
AND DETAILS

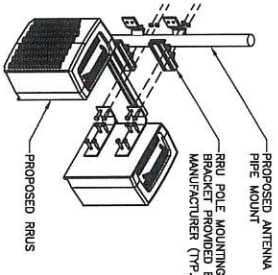
SHEET NUMBER  
C-5



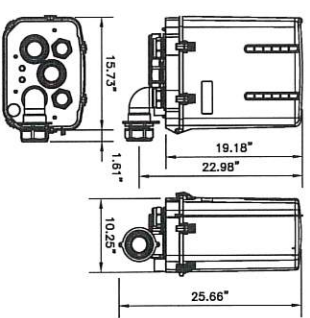
2 ANTENNA ORIENTATION DETAIL  
C-5 NOT TO SCALE



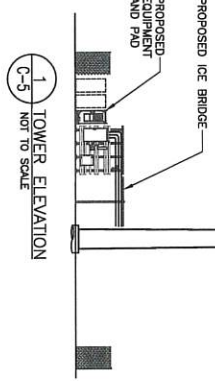
3 ANTENNA ORIENTATION DETAIL  
C-5 NOT TO SCALE



4 RRU PIPE MOUNT DETAIL  
C-5 NOT TO SCALE



5 OVP DETAIL  
C-5 NOT TO SCALE

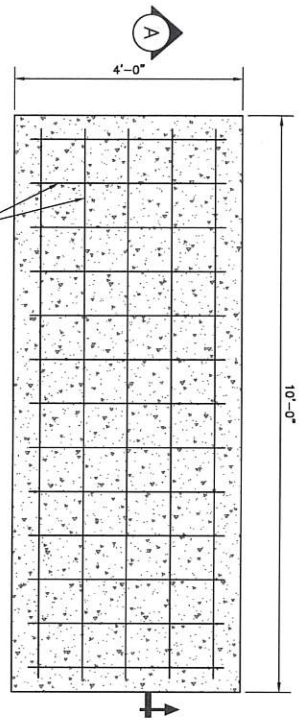


1 TOWER ELEVATION  
C-5 NOT TO SCALE

STRUCTURAL NOTES:

1. STRUCTURAL CALCULATION PREPARED BY OTHERS. CONTRACTOR TO COORDINATE WITH REPRESENTATIVE TO OBTAIN A COPY.

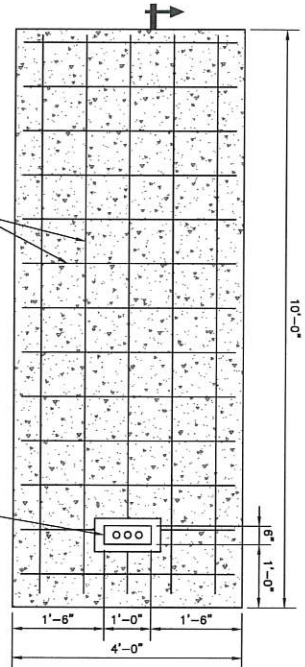
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL ANALYSIS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.



1 EQUIPMENT PAD PLAN  
C-6 NOT TO SCALE

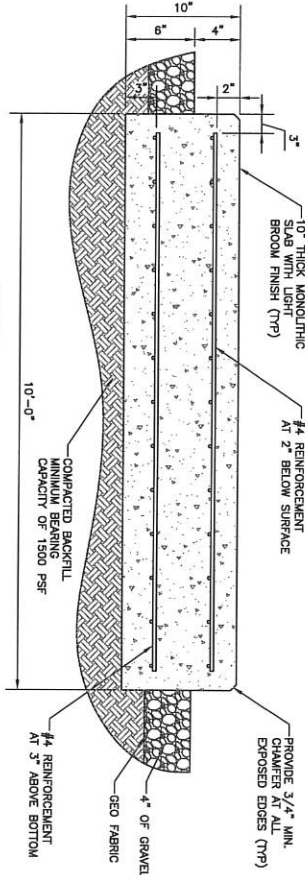
#4 REINFORCEMENT AT 10" O.C.  
EACH WAY, 3" MIN COVER

#4 REINFORCEMENT AT 10" O.C. EACH WAY, 3" MIN COVER

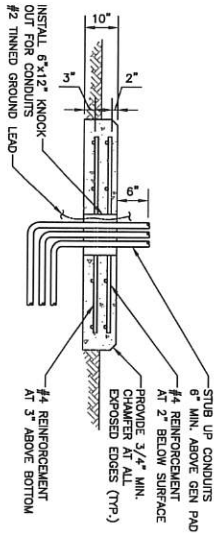


2 GENERATOR/PROPANE TANK PAD PLAN  
C-6 NOT TO SCALE

INSTALL 6"x12" KNOCK OUT FOR CONDUITS AND GROUND LEAD (NOT USED FOR PROPANE TANK PAD)



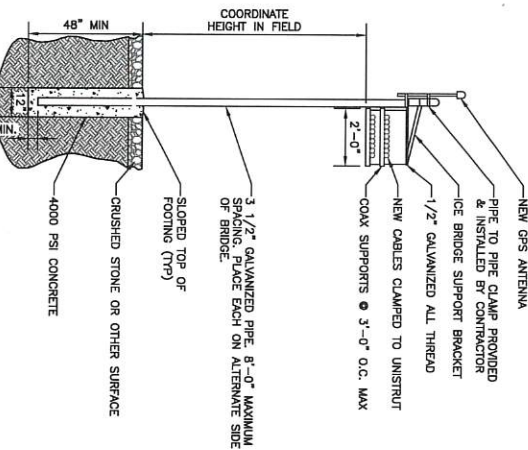
SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE

NOTE:  
ALL ICE BRIDGE PARTS ARE PROVIDED  
AND INSTALLED BY CONTRACTOR

3 ICE BRIDGE  
C-6 NOT TO SCALE



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

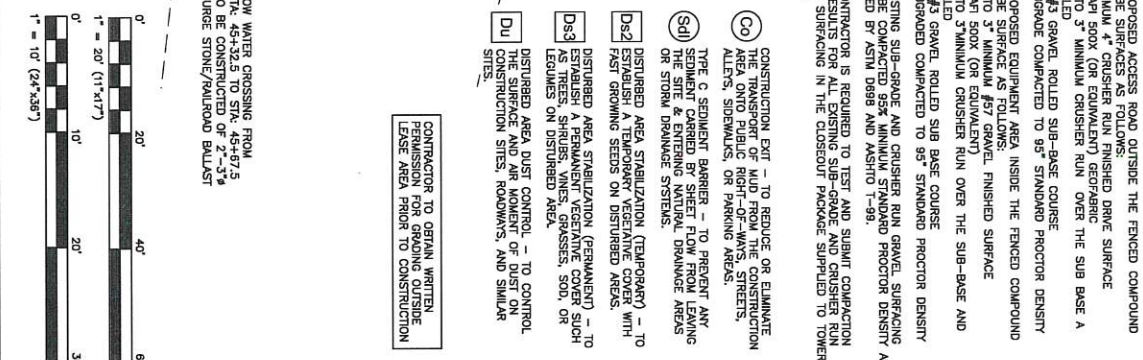
CH: CA 167005625



SITE NAME	BEEKS D
SHW: 20-0819	
PLU: 16636997	
PLC: 500272	
DESIGNED: JDS	
DRAWN: WSM	
CHECKED: BS	
SHEET NAME	FOUNDATION DETAILS
SHEET NUMBER	C-6



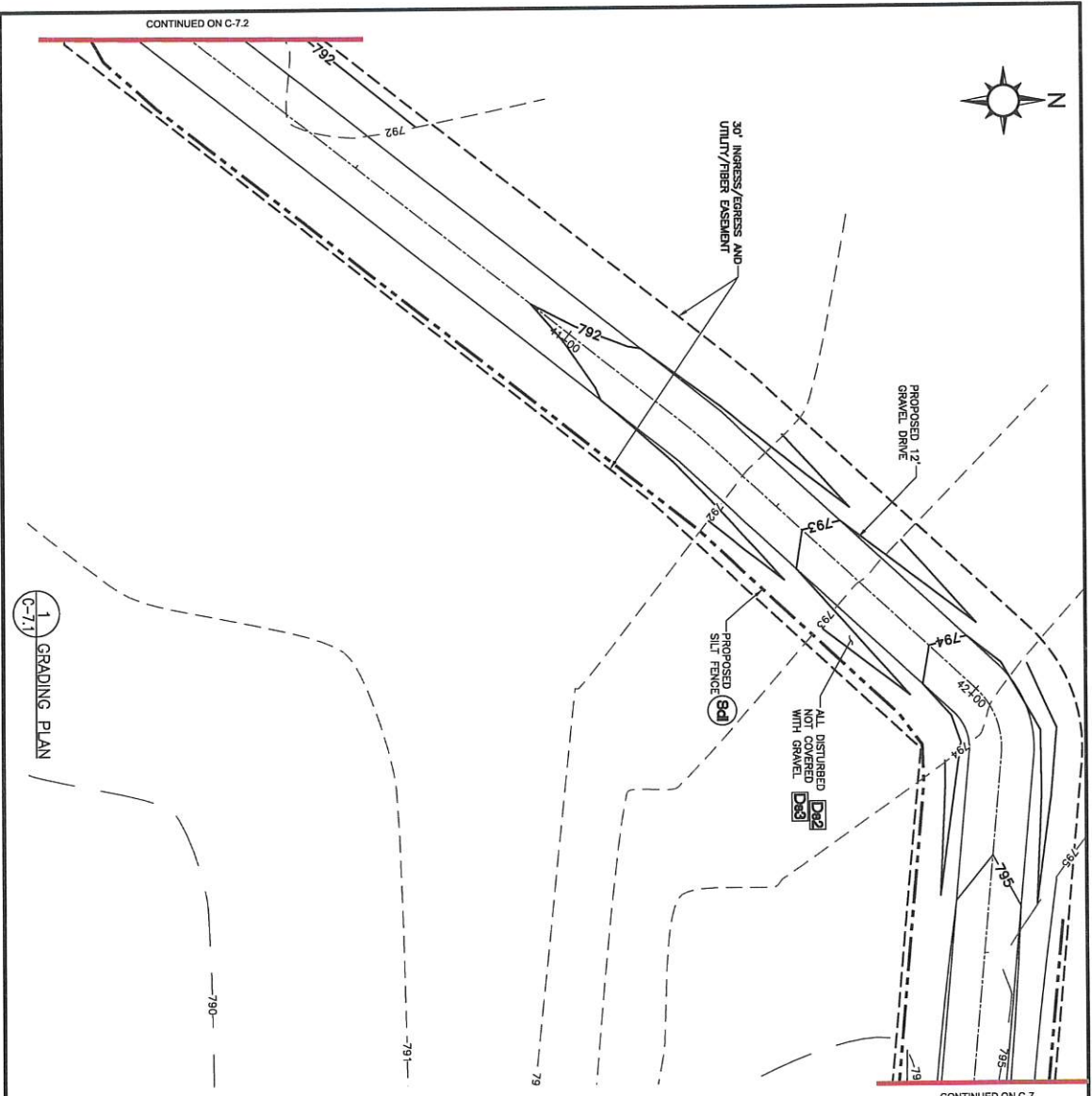




Co	CONSTRUCTION EXIT TO REDUCE OR ELIMINATE EXPOSURE TO AIR POLLUTION IN HIGH POLLUTION AREA AND PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
Sd1	TYPE C SEDIMENT BARRIER — TO PREVENT ANY EROSION OF EXISTING OR PROPOSED PAVING AT THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
Ds2	DISTURBED AREA STABILIZATION (TEMPORARY) — TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH /FAST GROWING SPECIES ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (PERMANENT) — TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, WILDS, GRASSES, SOIL, OR LEADINGS ON DISTURBED AREA.
Du	DISTURBED AREA DUST CONTROL — TO CONTROL THE SURFACE AND AIR MOMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

[illegible]

SHEET NAME	BECKS D
SITE NAME	
SNW#:	20-0819
FUZE ID:	166366987
PLSC #:	500272
DESIGNED:	JDS
DRAWN:	WSM
CHECKED:	BS
SHEET NAME	
GRADING, SEDIMENT & EROSION CONTROL PLAN	
SHEET NUMBER	C-7



THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MINIMUM 500X (OR EQUIVALENT) GEOTEXTILE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE A
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MINIMUM 500X (OR EQUIVALENT) GEOTEXTILE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER

CONSTRUCTION EXT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

(C) TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.

(Sd) DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.

(Ds2) DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREA.

(Ds3) DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

(Du) CONTRACTOR TO OBTAIN WRITTEN PERMISSION FOR GRADING OUTSIDE LEASE AREA PRIOR TO CONSTRUCTION

**verizon**

ENGINEERING GROUP, INC.

**STW**

ENGINEERING GROUP, INC.

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

**GEORGIA**

REGISTERED PROFESSIONAL ENGINEER

No. PE57208

08/12/22

SITE NAME: BEEKS D

SHW#: 20-0819

FLZE ID: 16836697

PLC #: 500272

DESIGNED: JDS

DRAWN: WSM

CHECKED: BS

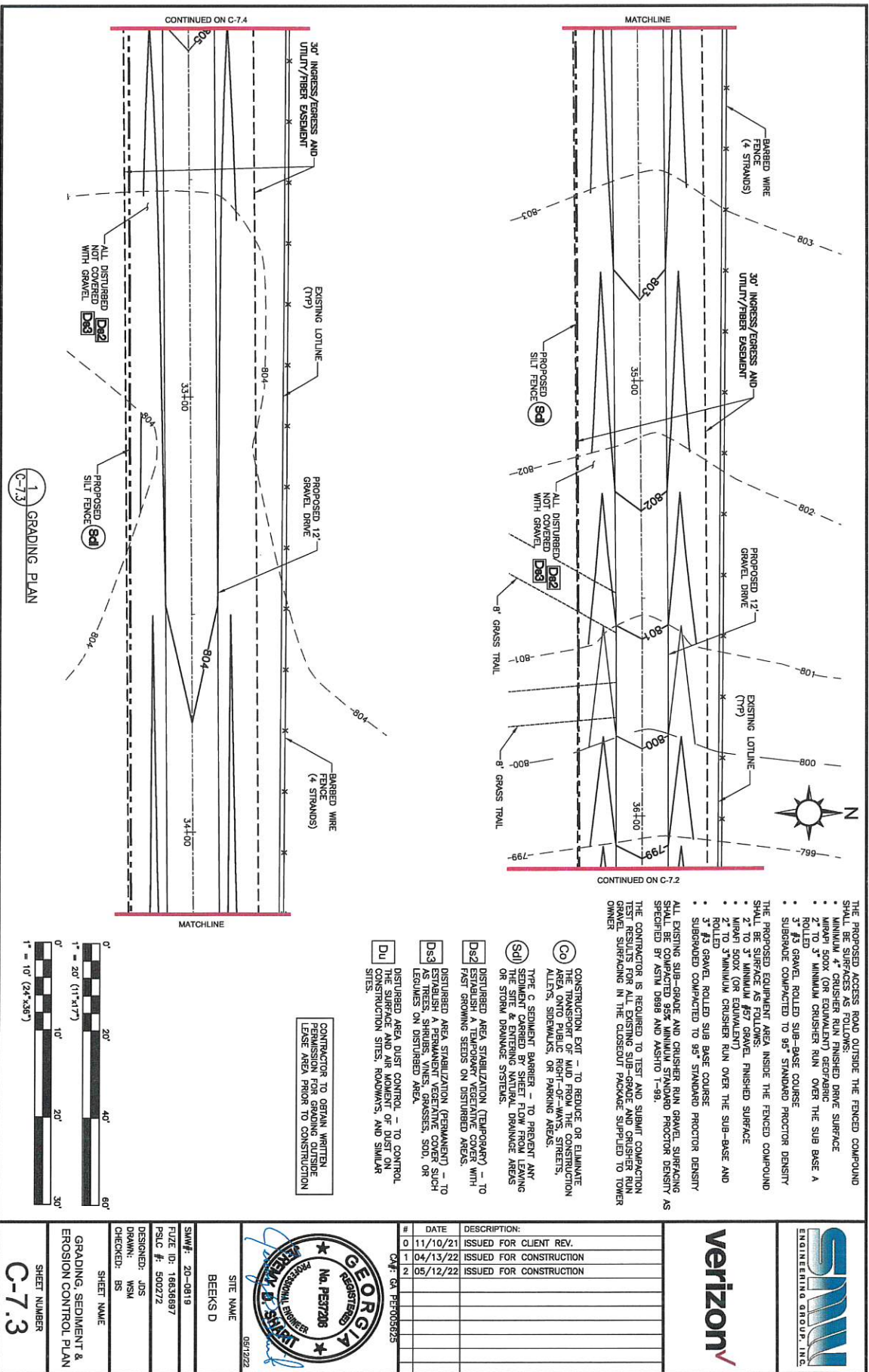
SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL PLAN

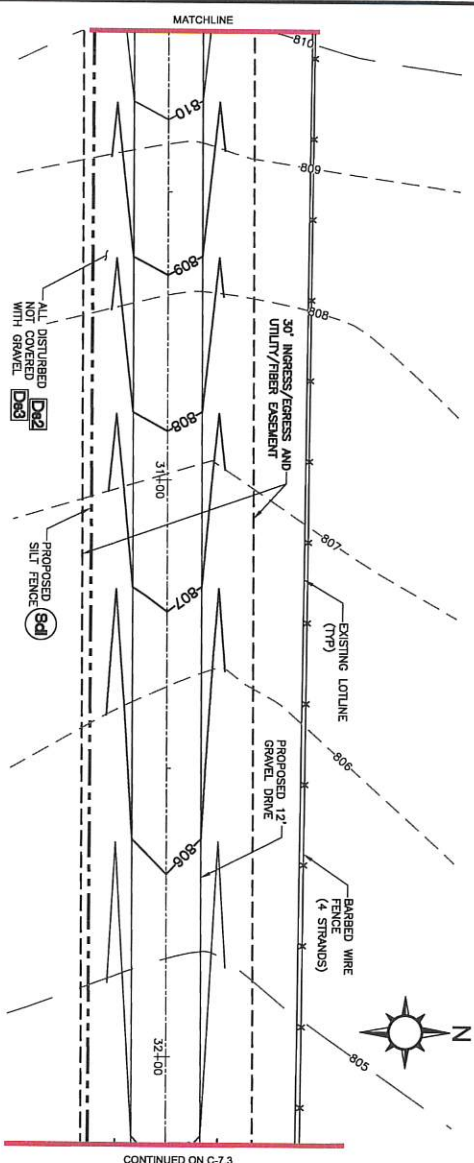
SHEET NUMBER: C-7.1









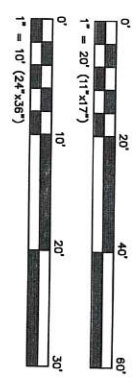
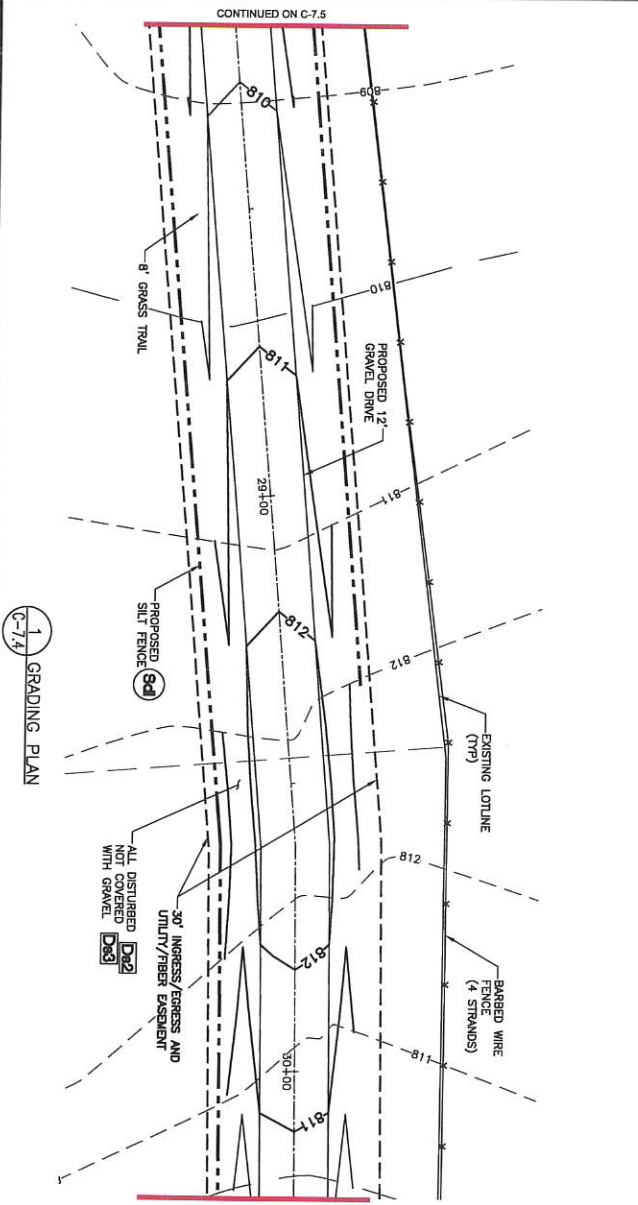


THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACES AS FOLLOWS:

- CRUSHER RUN FINISHED DRIVE SURFACE
- MINERAL SOIL (4" MINIMUM)
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE A ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACE AS FOLLOWS:
- 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
- MINERAL SOIL (4" MINIMUM)
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE SUBGRADE TO 95% STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEDOUT PACKAGE SUPPLIED TO TOWER OWNER



- (Co) THE TRANSPORT OF MUD FROM THE CONSTRUCTION SITES, SIDEWALKS, OR PARKING AREAS.
- (Sd) TYPE C SEDIMENT BARRIER - TO PREVENT ANY EROSION CAUSED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING ADJACENT DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
- (Ds2) DISTURBED AREA STABILIZATION (TEMPORARY) - TO PREVENT EROSION AND TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- (Ds3) DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH LEGUMES ON DISTURBED AREAS.
- (Du) DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND SIMILAR SITES.

CONTRACTOR TO OBTAIN WRITTEN PERMISSION FOR GRADING OUTSIDE LEASE AREA PRIOR TO CONSTRUCTION

**verizon**

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

C/F: CA PE003523

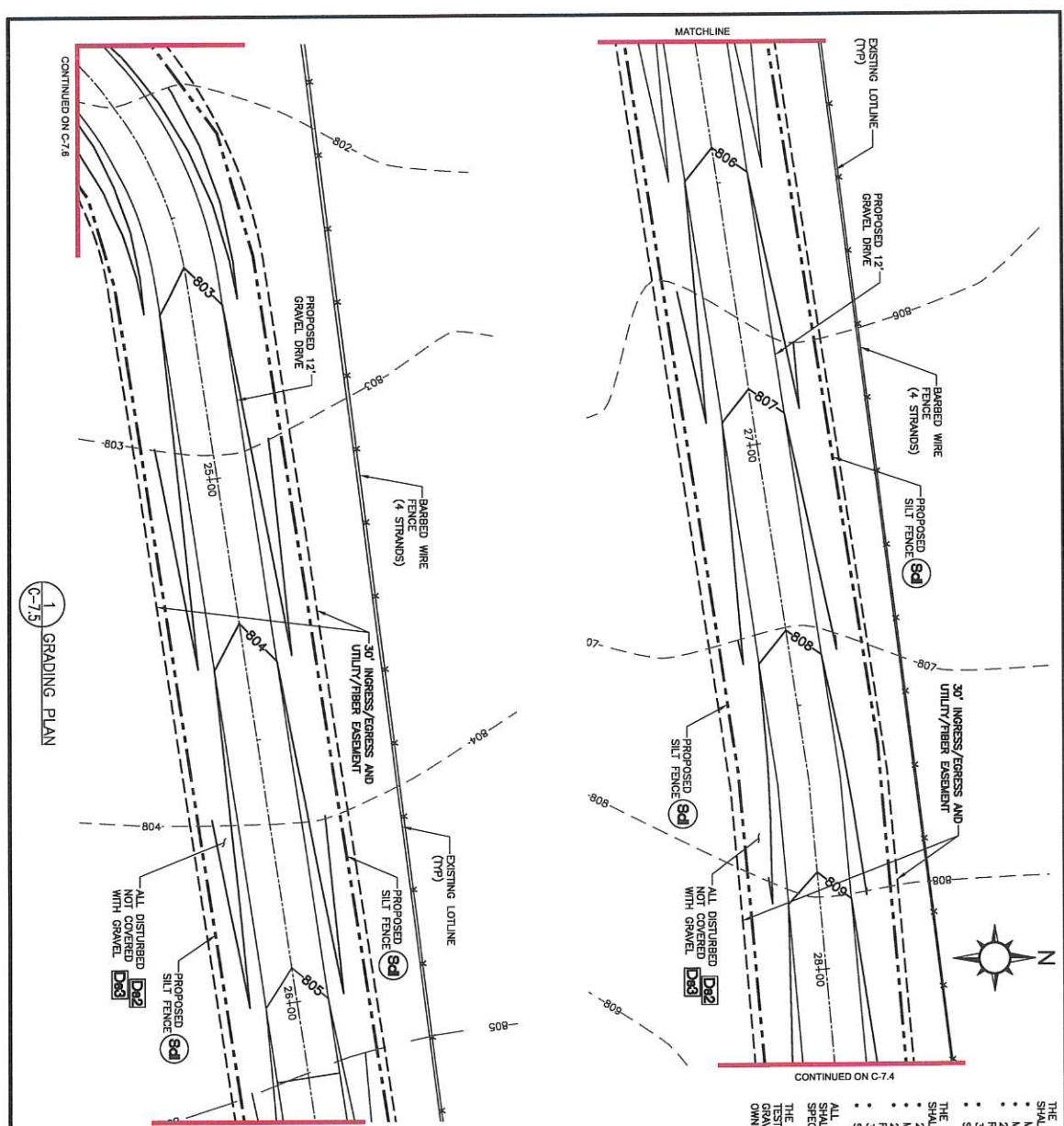
**GEORGIA**  
REGISTERED PROFESSIONAL ENGINEER  
No. PE27206  
LENN B. STINE

SITE NAME: BEEKS D  
SWM#: 20-0819  
FILE ID: 16035697  
P.L.C. #: 500272  
DESIGNED: JWS  
DRAWN: WSW  
CHECKED: BS

SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL PLAN  
SHEET NUMBER: C-7.4

0' 20' 40' 60'  
1" = 20' (1"=17.7')  
0' 10' 20' 30'  
1" = 10' (2"=30.5')





THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MINIMUM 500X (OR EQUIVALENT) GEOTEXTILE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE A
- ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
- 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.
- THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER

CONSTRUCTION EXT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

(Co) TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.

(Sd) DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.

(Ds2) DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOIL, OR LEGUMES ON DISTURBED AREA.

(Du) DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

CONTRACTOR TO OBTAIN WRITTEN PERMISSION FOR GRADING OUTSIDE LEASE AREA PRIOR TO CONSTRUCTION

SMU  
ENGINEERING GROUP, INC.

verizon

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

REG. PROFESSIONAL ENGINEER  
No. PE57208  
STATE OF GEORGIA  
GREGORY B. SMITH

SITE NAME: BEEKS D

SWMF: 20-0819

FLZ ID: 1663697

PLC #: 500272

DESIGNED: JDS

DRAWN: WSH

CHECKED: BS

SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL PLAN

SHEET NUMBER: C-7.5

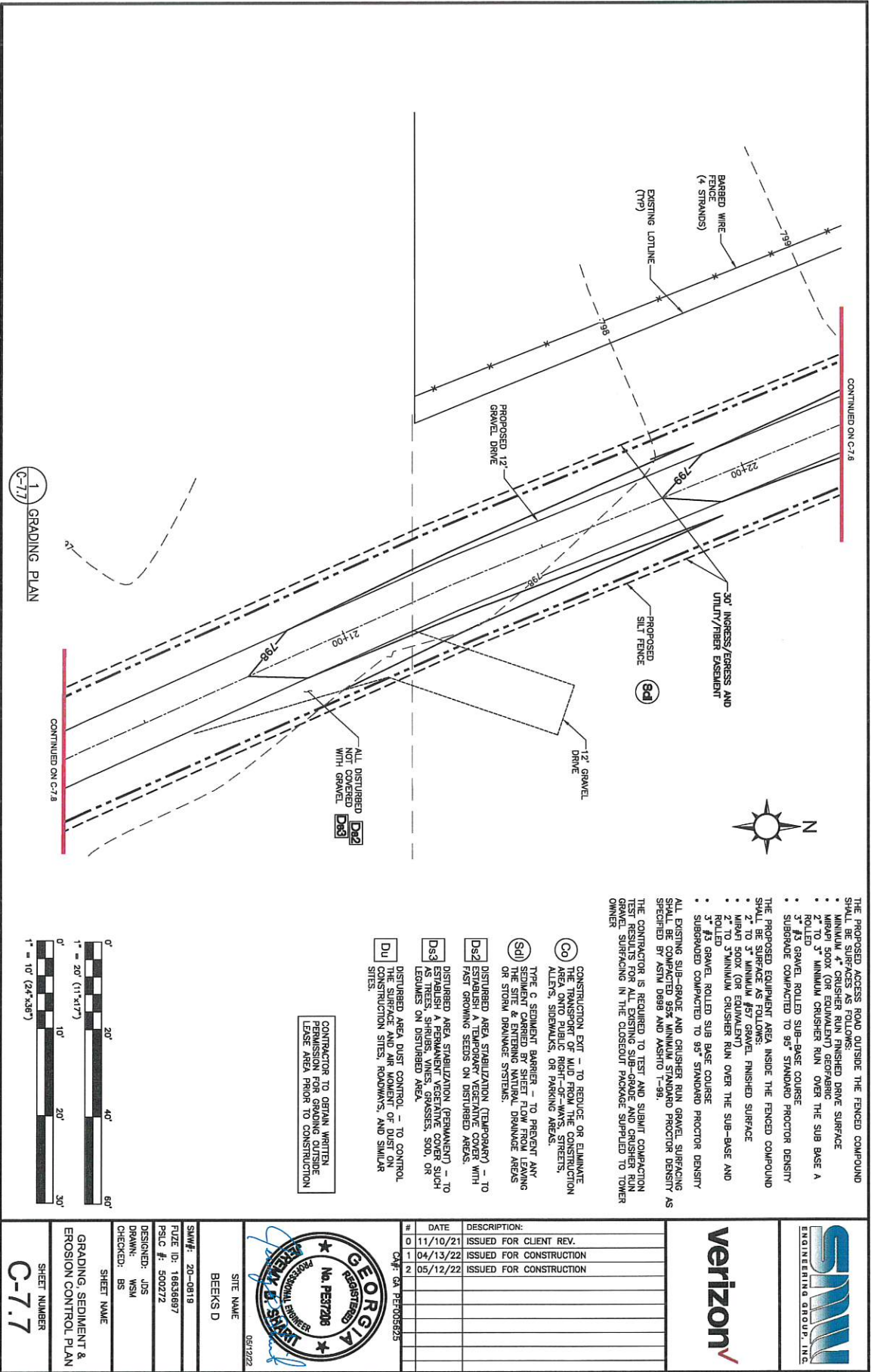




<b>(C)</b>	CONSTRUCTION DIST - TO REDUCE OR ELIMINATE THE ROAD EFFECT OF PAVED PAVEMENT, CONSTRUCTION ALLEYS, SIDEWAYS, OR PARKING AREAS.
<b>(Sd)</b>	TYPE C SEDIMENT BARRIER - TO PREVENT ANY EROSION OF THE SITE AND PREVENT EROSION OF THE SITE & ENTERING NATURAL DRAINAGE AREAS OR OTHER DRAINAGE SYSTEMS.
<b>(Ds2)</b>	DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATION COVER WITH FAST GERMINATING SEEDS ON DISTURBED AREAS.
<b>(Ds3)</b>	DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH PERMANENT VEGETATION COVER FOR SUCH AREAS. STRIPES, STRIPS, OR GRASSES, 500+ OR LONGER ON DISTURBED AREAS.
<b>(Du)</b>	DISTURBED AREA DRAIN CONTROL - TO CONTROL THE SURFACE AND SUB-SURFACE FLOW OF WATER ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

[illegible]

SITE NAME	
BEEKS D	
SAM#: 20-0819	
FLUZE ID: 16J36692	
PLSC #: 5002372	
DESIGNER: JDS	
DRAWN: WSM	
CHECKER: BS	
SHEET NAME	
GRADING, SEDIMENT & EROSION CONTROL PLAN	
SHEET NUMBER	
C-7.6	



THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MINIMUM 500K (OR EQUIVALENT) GEOPAP
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB BASE A
- ROLLED
- #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:
- 2" TO 3" MINIMUM #57 GRAVEL FINISHED SURFACE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT CONSTRUCTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



**SITE NAME**  
BEEKS D

**DATE**  
05/17/22

**SW#**  
20-0819

**FLZE ID**  
1633667

**PLC #**  
500272

**DESIGNED**  
JCS

**DRAWN**  
NSM

**CHECKED**  
BS

**SHEET NAME**  
GRADING, SEDIMENT & EROSION CONTROL PLAN

**SHEET NUMBER**  
C-7.7



(Co)	CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION SITES, SIDEWALKS, OR PARKING AREAS.
(Sd)	TYPE C SEDIMENT BARRIER - TO PREVENT ANY TYPE OF SEDIMENT FROM ENTERING THE SITE AND ENTERING NEARBY DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
(Ds2)	DISTURBED AREA STABILIZATION (TEMPORARY) - TO PREVENT EROSION OF DISTURBED AREAS WITH FAST GROWING SEEDS ON DISTURBED AREAS.
(Ds3)	DISTURBED AREA STABILIZATION (PERMANENT) - TO PREVENT EROSION OF DISTURBED AREAS WITH PERMANENT STRIPES, GRASSES, SOIL, OR LEAVES ON DISTURBED AREAS.
(Du)	DISTURBED AREA DUST CONTROL - TO CONTROL DUST AND PREVENT THE MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.


05/12/22

SHEET NAME	GRADING, SEDIMENT & EROSION CONTROL PLAN
BEEKS D	
SNAW#: 20-0819 PLZE ID#: 16636697 PSIC #: 500272	
DESIGNED: JDS DRAWN: WSM CHECKED: BS	
SHEET NAME	
SHEET NUMBER	C-7.8

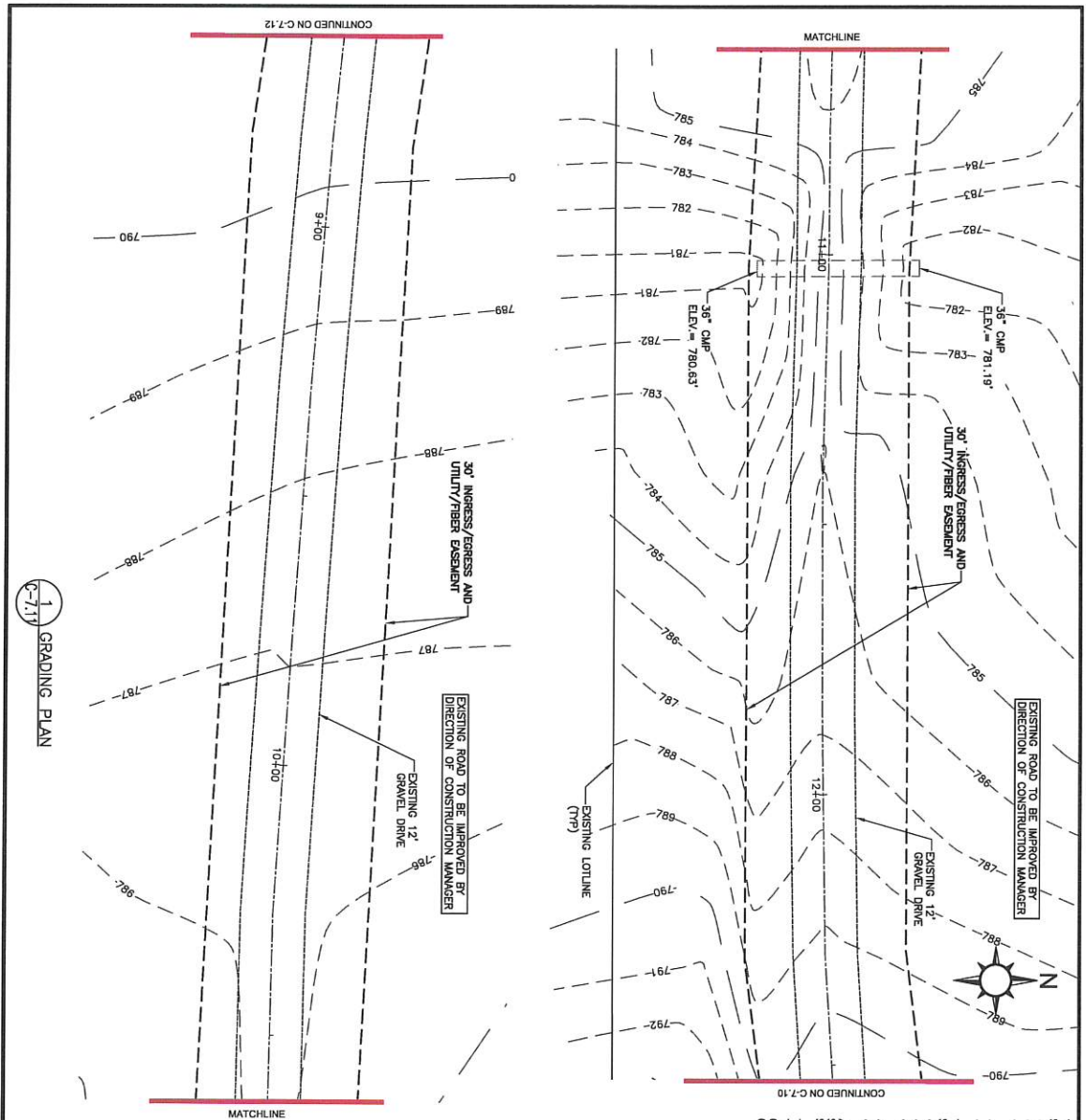




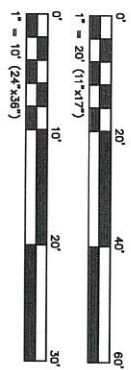
- Co CONSTRUCTION (e.g., TO REDUCE OR ELIMINATE DISTURBANCE OF ROOTS FROM EXISTING NEARBY PLANT OR ROOT SYSTEMS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- Sd TYPE C, EMENT, BARRIER, TO PREVENT ANY SETBACK OR DAMAGE TO PLANT, PLANT, OR STORM DRAINAGE SYSTEMS.
- Ds2 DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY RESISTENT COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- Ds3 DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT RESISTENT COVER WITH TREES, SHRUBS, VINES, GRASSES, SOD, OR FERTILIZERS ON DISTURBED AREA.
- Du DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

		SITE NAME BEEKS D	
DATE 05/12/22		SHEET NAME GRAVING SEDIMENT & EROSION CONTROL PLAN	
DRAWN: WSM CHECKED: BS		SHEET NUMBER C-7.9	





1  
C-7.11 GRADING PLAN



CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ENTER THE ADJACENT PROPERTY FOR THE PURPOSE OF CONSTRUCTION. LEASE AREA PRIOR TO CONSTRUCTION.

- (Co) CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE DISTURBED AREA FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- (Sd) TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAKING OR STORM DRAINAGE SYSTEMS.
- (Ds2) DISTURBED AREA STABILIZATION (TEMPORARY) - TO FAST GROWING SEEDS ON DISTURBED AREAS.
- (Ds3) DISTURBED AREA STABILIZATION (PERMANENT) - TO FAST GROWING SEEDS ON DISTURBED AREAS.
- (Ds4) AS TREES, SHRUBS, VINES, GRASSES, SODS, OR LEGUMES ON DISTURBED AREA.
- (Du) DISTURBED AREA DUST CONTROL - TO CONTROL DUST RELEASED FROM THE CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS:

- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MINIMUM 4" CRUSHER RUN OVER THE SUB BASE A
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB BASE A
- ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACE AS FOLLOWS:
- MINIMUM 4" CRUSHER RUN FINISHED SURFACE
- MINIMUM 4" CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- 3" #3 GRAVEL ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO THE OWNER.

**SMW**  
ENGINEERING GROUP, INC.

**verizon**

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

**GEORGIA**  
No. PE07208  
J. BEEKS D.  
Professional Engineer

SITE NAME: BEEKS D

DATE: 05/12/22

SMW#: 20-0819

FILE ID: 1664687

PLC #: 500272

DESIGNED: JDS

DRAWN: WSM

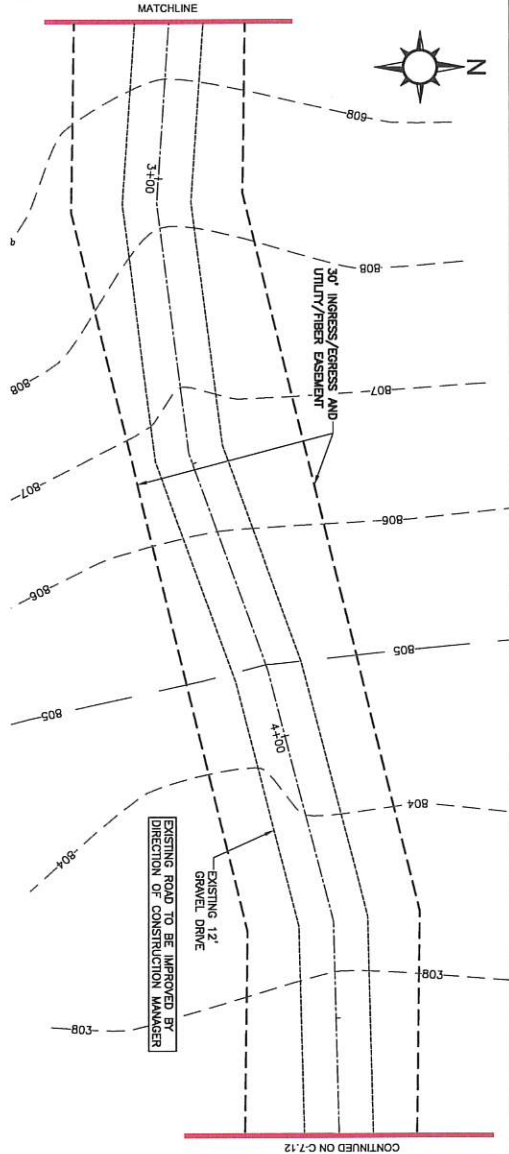
CHECKED: BS

SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL PLAN

SHEET NUMBER: C-7.11







THE PROPOSED ACCESS ROAD OUTSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

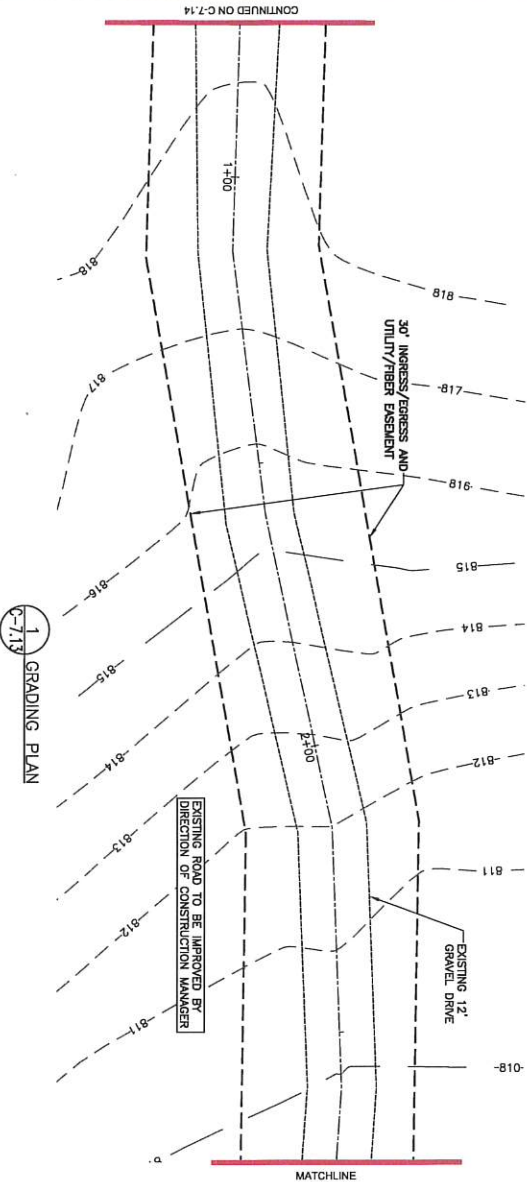
- MINIMUM 4" CRUSHER RUN FINISHED DRIVE SURFACE
- MPAPI 500X (OR EQUIVALENT) GEOTEXTILE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE A
- ROLLED GRAVEL, ROLLED SUB-BASE COURSE
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

THE PROPOSED EQUIPMENT AREA INSIDE THE FENCED COMPOUND SHALL BE SURFACED AS FOLLOWS:

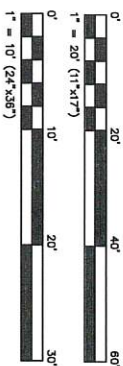
- 2" TO 3" MINIMUM 67% GRAVEL FINISHED SURFACE
- ROLLED GRAVEL, ROLLED SUB-BASE COURSE
- 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND ASPHTO T-99.

THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUB-GRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO TOWER OWNER.



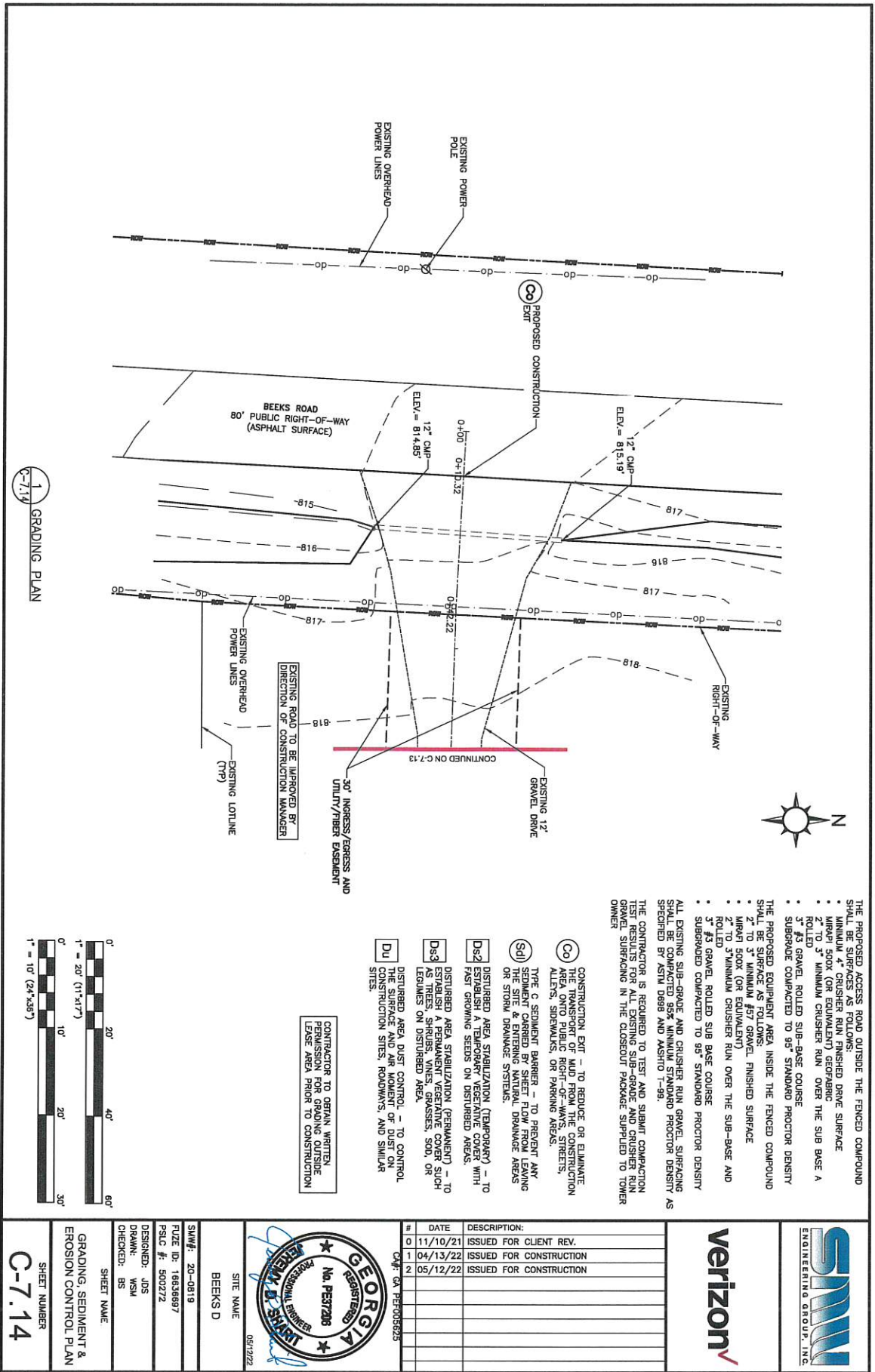
- CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.
- (Co) TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE & ENTERING NATURAL DRAINAGE AREAS OR STORM DRAINAGE SYSTEMS.
- (Sd) DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREAS.
- (Ds2) DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH PERMANENT VEGETATIVE COVER WITH AS TREES, SHRUBS, VINES, GRASSES, SOO, OR LEGUMES ON DISTURBED AREA.
- (Ds4) DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.
- (Du) CONTRACTOR TO OBTAIN WATER PERMISSION FOR GRADING OUTSIDE LEASE AREA PRIOR TO CONSTRUCTION



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1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SHEET NAME	BECKS D
SW#	20-0819
PLZ ID	16636897
PLC #	500272
DESIGNED	JOS
DRAWN	NSM
CHECKED	BS
SHEET NUMBER	C-7.13
GRADING, SEDIMENT & EROSION CONTROL PLAN	



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

**SWW#:** 20-0819  
**FLUE ID:** 16836897  
**PLC #:** 500272  
**DESIGNED:** JDS  
**DRAWN:** WSM  
**CHECKED:** BS

**SHEET NAME:** GRADING, SEDIMENT & EROSION CONTROL PLAN

**SHEET NUMBER:** C-7.14



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME  
BEEKS D

SNW#: 20-0819

FLZE ID: 1653697

PLC #: 500272

DESIGNED: JWS

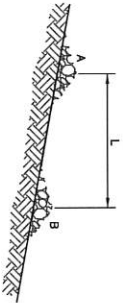
DRAWN: WSH

CHECKED: BS

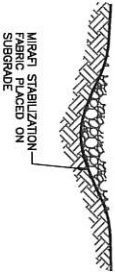
SHEET NAME  
GRADING, SEDIMENT & EROSION CONTROL DETAILS

SHEET NUMBER  
C-8

L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.



SPACING CHECK IN BETWEEN DAMS

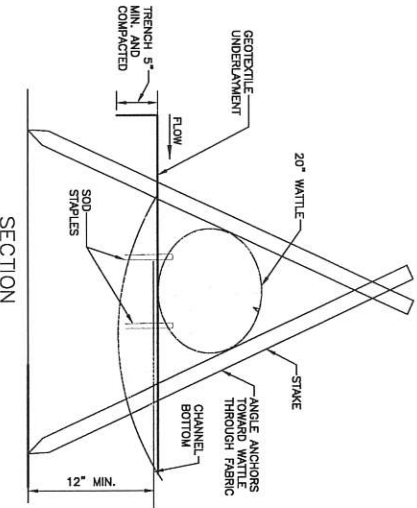


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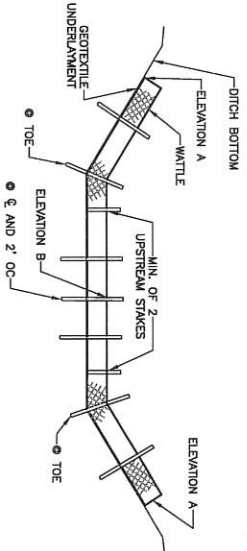
- CHECK DAMS TO BE CONSTRUCTED OF GRADED SIZE 2 - 10 INCH STONE. MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR STAKE AND THAT CENTER OF DAM IS LOWER THAN EDGES.
- SEDIMENT TO BE REMOVED WHEN A LEVEL OF 1/2 THE ORIGINAL DAM HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF WORK.

4 CHECK DAM C-8 NOT TO SCALE

### WATTLE DETAILS



SECTION



ELEVATION DETAIL

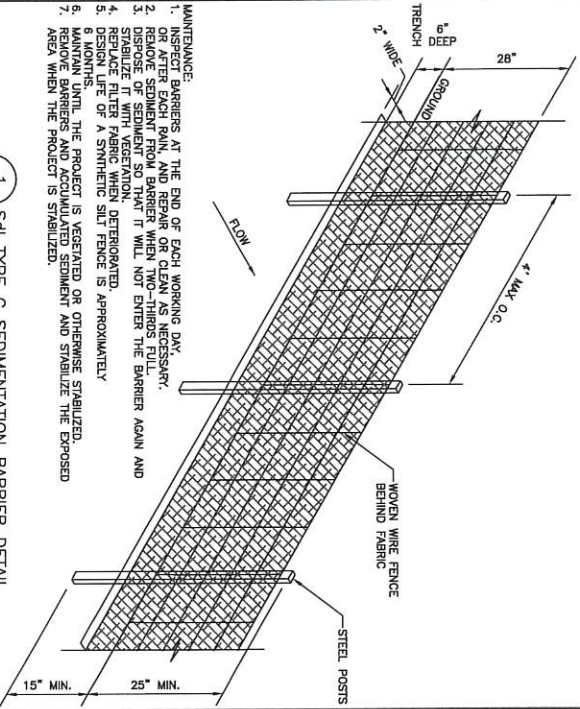
NOTE: END POINTS A MUST BE HIGHER THAN FLOWLINE POINT B

NOTES:

- MINIMUM RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLE DITCH CHECK IS 50 FEET UNLESS SHOWN OTHERWISE ON THE PLANS OR APPROVED BY THE ENGINEER.
- ANCHORING STAKES SHALL BE SIZED, SPACED, DRIVEN, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE CHECK. STAKE SPACING SHALL BE A MAXIMUM OF TWO FEET.
- SECURE GEOTEXTILE UNDERLAYMENT BY PLACING STAPLES 18 INCHES APART ALONG THE CHANNEL, EDGES AND DOWN THE CENTER OF THE CHANNEL. SPACE STAPLES 10 INCHES APART ACROSS THE UPSTREAM AND DOWNSTREAM EDGES.
- PLACE STAPLES ON BOTH SIDES OF WATTLE AT 10" SPACING.

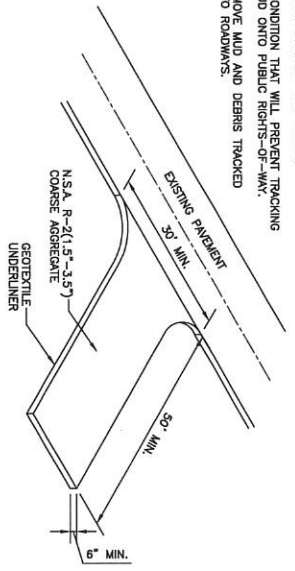
1 SdI TYPE C SEDIMENTATION BARRIER DETAIL C-8 NOT TO SCALE

- MAINTENANCE:**
- INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
  - REMOVE SEDIMENT FROM BARRIER WHEN TWO-THIRDS FULL.
  - REMOVE STAPLES FROM BARRIER WHEN IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE WITH VEGETATION.
  - REPLACE FILTER FABRIC WHEN DEGRADED.
  - DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 MONTHS.
  - WHEN THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
  - REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.

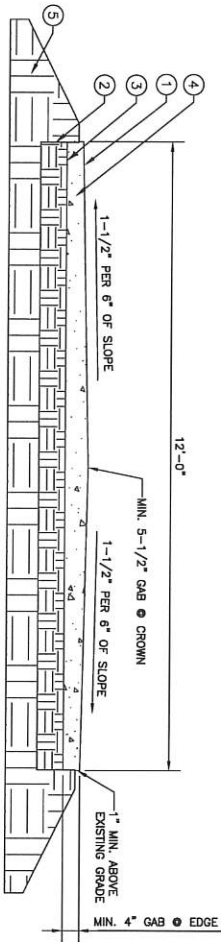


**MAINTENANCE:**

- PERIODICALLY DRESS WITH 1.5"-3.5" STONE.
- MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
- IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.



2 CONSTRUCTION EXIT DETAIL C-8 NOT TO SCALE

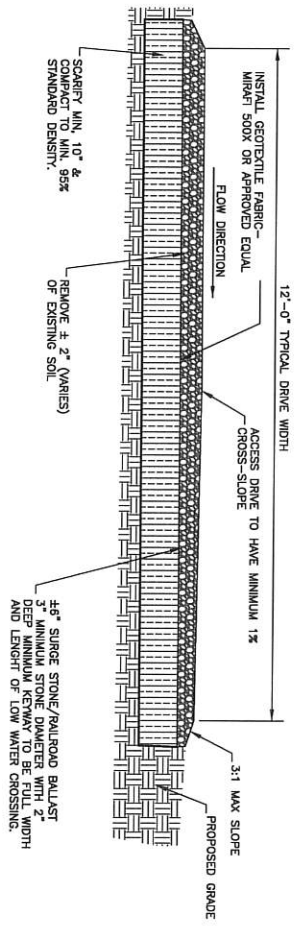


GRAVEL ROAD DETAIL

TYPICAL GRAVEL ROAD CROSS SECTION

\*\*CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WHEN NECESSARY, WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK.\*\*

1. MINIMUM 4" CRUSHER RUN FINISHED DRAINING SURFACE
2. MIRAFI 500X (OR EQUIVALENT) GEOTEXTILE
3. 2" TO 3" MINIMUM CRUSHER RUN OVER THE SUB-BASE AND ROLLED
4. 3" #3 GRAVEL, ROLLED SUB-BASE COURSE
5. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



TYPICAL LOW-WATER CROSSING DETAIL

(NOT TO SCALE)



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SITE NAME: BEKS D

SWW#: 20-0819

PLATE ID: 16856897

PSLC #: 500272

DESIGNED: JDS

DRAWN: WSM

CHECKED: BS

SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL DETAILS

SHEET NUMBER: C-8.1



# EDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RTE GRASS	20-40 LB.	UNHILLED BERNUDA SERICHA LESPEDEZA	8-10 LB. 30-40 LB.
2. FEBRUARY			UNHILLED BERNUDA	8-10 LB. 30-40 LB.
3. MARCH	RTE ANNUAL LESPEDEZA	2-3 BU. 20-25 LB.	SERICHA LESPEDEZA	8-10 LB. 30-40 LB.
4. APRIL	RTE BROWN TOP MULLET	2-3 BU. 20-40 LB. 35 LB.	WEEDING LOVE GRASS	4-6 LB. 40-60 LB.
5. MAY	WEEDING LOVE GRASS	4-6 LB. 30-40 LB.	WEEDING LOVE GRASS	4-6 LB. 40-60 LB.
6. JUNE	WEEDING LOVE GRASS	4-6 LB. 30-40 LB.	WEEDING LOVE GRASS	4-6 LB. 40-60 LB.
7. JULY	WEEDING LOVE GRASS	4-6 LB. 30-40 LB.	WEEDING LOVE GRASS	4-6 LB. 40-60 LB.
8. AUGUST	RTE GRASS	40-50 LB.	WEEDING LOVE GRASS	4-6 LB. 40-60 LB.
9. SEPTEMBER			TALL FESCUE	30-50 LB.
10. OCTOBER	WHEAT	2-3 BU.	UNHILLED BERNUDA	8-10 LB. 30-40 LB.
11. NOVEMBER	WHEAT	2-3 BU.	UNHILLED BERNUDA	8-10 LB. 30-40 LB.
12. DECEMBER	RTE GRASS	2-3 BU. 40-50 LB. 2-3 BU.	UNHILLED BERNUDA	8-10 LB. 30-40 LB.

1. USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINING MAY BE UNSCARIFIED. CLEAN HILLED SEED.
2. USE EITHER COMMON SERVAL OR INTERSTATE SERICHA LESPEDEZA

## GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT IN ROAD CUT AND FILL SLOPES, SHOULDER, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS, AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

## SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTIONS, THE AREAS TO BE TREATED ARE MAINLY SUBSOL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

## TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT, WHEN APPLICABLE SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHOWN OF SEEDING PREPARATIONS WILL BE REQUIRED. THE FERTILIZER, SEED, AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND SUPPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE THE COMBINED TO FORM A HOMOGENEOUS SLURRY. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE #75	400 LBS./ACRE
FERTILIZER, 02-10-15	500 LBS./ACRE
MULCH (STRAW OR HAY)	500 LBS./ACRE
MULCH (WOOD CELLULOSE FIBER)	1000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
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SERICHA LESPEDEZA, SCARIFIED	80 LBS.	3/1-6/15
COMMON BERNUDA, HILLED	6 LBS.	

FESCUE	40 LBS.	4/1-10/31
SERICHA LESPEDEZA, UNCERTIFIED	80 LBS.	

FESCUE	40 LBS.	11/1-12/28
SERICHA LESPEDEZA, UNCERTIFIED	80 LBS.	

HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/19-6/31
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- B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL. FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE
- C. SECOND YEAR TREATMENT: FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS./ACRE

## GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT IN ROAD CUT AND FILL SLOPES, SHOULDER, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS, AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

## SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTIONS, THE AREAS TO BE TREATED ARE MAINLY SUBSOL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

## TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT, GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDING. SEEDING WILL BE DONE BY THE HAND OR WITH A SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESH PREPARED SEEDBED WITH A CULTIPACKER-SEEDER, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE SPREAD EITHER BY BLOWER-TYPE MULCH SPREADING EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT WAS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE #15	400 LBS./ACRE
FERTILIZER, 5-10-15	1600 LBS./ACRE
MULCH (STRAW OR HAY)	5000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE
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COMMON BERNUDA, HILLED	10 LBS.
FESCUE	50 LBS.

FESCUE	50 LBS.
RTE GRASS	50 LBS.

HAY MULCH FOR TEMPORARY COVER	5000 LBS.
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- B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL. FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE
- C. SECOND YEAR TREATMENT: FERTILIZER (0-20-20 OR EQUIVALENT) 800 LBS./ACRE



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0	11/10/21	ISSUED FOR CLIENT REV.
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SITE NAME: BEEKS D

SHEET NAME: GRADING, SEDIMENT & EROSION CONTROL VEGETATION SPECS

SHEET NUMBER: C-9

DATE: 20-08-19

FLUE ID: 16356697

PSLC #: 500272

DESIGNED: JDS

DRAWN: WSM

CHECKED: BS





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# verizon<sup>v</sup>

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SITE NAME: \_\_\_\_\_  
SITE NUMBER: \_\_\_\_\_  
FCC REGISTRATION NUMBER: \_\_\_\_\_

FOR LOCAL INFORMATION: \_\_\_\_\_  
IN CASE OF EMERGENCY: \_\_\_\_\_

NO TRESPASSING

POSTING OF THIS SIGN REQUIRED BY LAW

WHITE TEXT

BLACK TEXT

8"

1234567

Produced in accordance with Federal Communications Commission's rules on minimum tower registration 47 CFR 1.14 (b).

12"

WHITE BACKGROUND

GREEN BACKGROUND

WHITE BACKGROUND

**INFORMATION**

Federal Communications Commission  
Tower Registration Number

**FCC REGISTRATION SIGN**

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING

MOUNTING LOCATION: GATE & BASE OF TOWER

QUANTITY: 2

**OWNER CONTACT SIGN**  
WHITE BACKGROUND, BLACK/RED LETTERING  
MOUNTING LOCATION: GATE  
QUANTITY: 2

FCC REGISTRATION SIGN

1 NOTICE RF SIGN (BLUE)

[illegible]

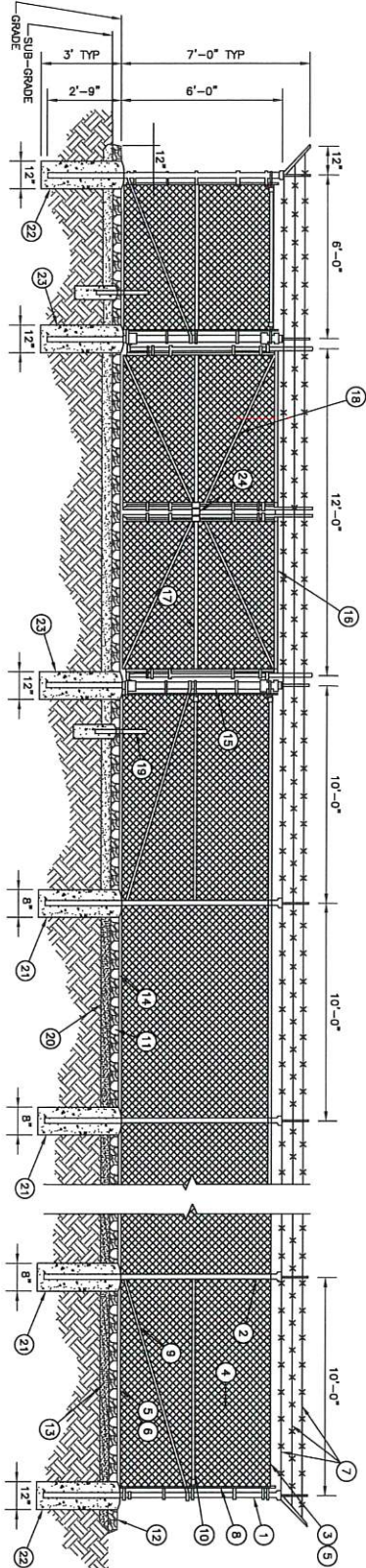
AUTHORIZED PERSONNEL SIGN  
WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING  
MOUNTING LOCATION: GATE & BASE OF TOWER  
QUANTITY: 1  
WHERE ACCESS GATE INSTALLED (QTY. 2)

DANGER NO TRESPASSING SIGN  
WHITE/BLACK BACKGROUND, BLACK/WHITE LETTERING  
MOUNTING LOCATION: GATE & BASE OF TOWER  
QUANTITY: 1  
WHERE ACCESS GATE INSTALLED (QTY. 2)

## SITE SIGNAGE

SHEET NUMBER

C-10



1 FENCE DETAIL  
C-11 NOT TO SCALE

# GENERAL NOTES:

1. INSTALL FENCING PER ASTM F-367
2. INSTALL SWING GATES PER ASTM-900
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED
4. CORNER POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL) ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUIV.)
5. ALL OPEN POSTS SHALL HAVE END-CAPS
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC
8. USE COMMERCIAL GRADE MATERIALS ONLY

## REFERENCE NOTES:

1. CORNER END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE
2. LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-F-1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
3. TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-F-1083
4. FABRIC: 9GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392
5. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL. END AT TENSION WIRE BU HOG RINGS SPACED MAX. AT 24" O.C.
6. TENSION WIRE: 9GA GALVANIZED STEEL
7. BARBED WIRE: DOUBLE STRAND 12 1/2" OD TWISTED WIRE TO MATCH WITH FABRIC 14GA, 4FT. BARBS SPACE ON APPROX 6" CENTERS
8. STRETCHER BAR
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
10. FENCE CORNER POST BRACE: 1 5/8" DIA. EACH CORNER EACH WAY
11. 1 1/2" MAXIMUM CLEARANCE FROM GRADE
12. 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK
13. 4" COMPACTED 85% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK
14. FINISH GRADE SHALL BE UNIFORM AND LEVEL
15. GATE POST 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 4 FEET FOR DOUBLE SWING GATE, PER ASTM-F-1083
16. GATE FRAME: 1 1/2" PIPE, PER ASTM-F-1083
17. GATE FRAME: 1 5/8" PIPE, PER ASTM-F-1083
18. GATE DIAGONAL GALVANIZED STEEL, 1 1/2" PIPE
19. DUCK BILL OPEN GATE HOLDER, VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION
20. GEOTEXTILE FABRIC
21. LINE POST: CONCRETE FOUNDATION (2000 PSI)
22. CORNER POST: CONCRETE FOUNDATION (2000 PSI)
23. GATE POST: CONCRETE FOUNDATION (2000 PSI)
24. STYME LOCK OR EQUIVALENT



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SITE NAME	BEEKS D
SWF: 20-0819	
PLZ ID: 1663667	
PLC #: 500272	
DESIGNER: JUS	
DRAWN: WSM	
CHECKED: BS	
SHEET NAME	FENCE DETAILS
SHEET NUMBER	C-11



# GENERAL NOTES:

1. PROVIDE LABOR, EQUIPMENT, MATERIALS, ETC., REQUIRED TO COMPLETE THE INSTALLATION SHOWN.
2. CODES AND STANDARDS: INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND ORDINANCES, UTILITY COMPANY REGULATIONS, & APPLICABLE REQUIREMENTS OF LATEST EDITIONS OF CODES LIST ON C-1.
3. PERMITS: OBTAIN & PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
4. COORDINATION: COORDINATE ELECTRICAL WORK WITH OTHER TRADES.
5. SUBMITTALS: SUBMIT BROCHURES FOR APPROVAL ON DISCONNECT SWITCH & OTHER MAJOR SYSTEM COMPONENTS.
6. EXISTING SERVICES: DO NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
7. EQUIPMENT: CONNECT ELECTRICALLY OPERATED EQUIPMENT.
8. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK, AS REQUIRED BY THE PROJECT. RECORDS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. DOCUMENTS WHICH SHALL BE TURNED OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
9. IDENTIFICATION: IDENTIFY DISCONNECT SWITCH WITH PERMANENT ENGRAVED NAMEPLATE.
10. GUARANTEE/WARRANTY: GUARANTEE INSTALLATION TO BE FREE OF DEFECTS, SHORTS, GROUNDS, ETC., FOR A PERIOD OF ONE YEAR, PLUS/LESS WARRANTY SO THE DEFECTIVE MATERIALS AND/OR WORKMANSHIP WILL BE REPAIRED/REPLACED IMMEDIATELY UPON NOTIFICATION AT NO COST TO THE OWNER FOR PERIOD OF WARRANTY.
11. CUTTING & PATCHING: PATCHING SHALL BE REQUIRED TO DO THE WORK. DO NOT CUT STRUCTURAL MEMBERS. PATCHING SHALL BE APPROVED BY THE ARCHITECT. PATCHING SHALL BE MATCHING APPEARANCE OF EXISTING CONSTRUCTION.
12. TRENCHING & BACKFILL: PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES.
13. RACEWAYS: RACEWAY CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT (MEETING NEMA TC-2-1980). UNDERGROUND PVC CONDUIT SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT BEFORE RISING ABOVE GRADE OR WHEN SUBJECTED TO VEHICLE TRAFFIC LOADS. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 34" RADIUS. CONDUIT SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROTECTION FROM DAMAGE. CONDUIT SHALL BE RATED FOR USE WITH THE CABLES AND FITTINGS SPECIFIED. SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. INTERIOR CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH COMPRESSION TYPE FITTINGS.
14. SUPPORTS: AS REQUIRED BY THE NEC.
15. CONDUCTORS: USE 98% CONDUCTIVITY COPPER WITH TYPE THHN/THWN INSULATION, 600 VOLT, COLOR CODED, USE SOLID CONDUCTORS FOR WIRE UP TO #8 AWG. USE STRANDED CONDUCTORS FOR WIRE #8 AWG AND ABOVE.
16. CONNECTORS FOR POWER CONDUCTORS: USE PRESSURE TIGHT INSULATED TWIST CONNECTORS FOR #10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR #8 AWG AND LARGER.
17. GROUNDING:
  - A. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
  - B. ALL CONNECTIONS SHALL BE 2-HOLE LUG UNLESS UNDERGROUND.
  - C. LUGS SHALL BE ATTACHED TO GROUND BARS USING STAINLESS STEEL OR NUTS & LOCKWASHERS.
  - D. PROVIDE TESTING OF GROUNDING SYSTEM AS DIRECTED BY CONSTRUCTION MANAGER.

# GENERAL ELECTRICAL NOTES:

1. THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES, LAWS, AND ORDINANCES.
2. INDICATED CONDUIT CONDUIT SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE NOTED. CONDUIT EXPOSED ABOVE GROUND OR ROUTED UNDER GRAVEL, ROAD SHALL BE RIGID GALVANIZED STEEL. ALL UNDERGROUND CONDUIT SHALL TRANSITION FROM PVC TO RIGID AT THE 30" BEND BELOW GRADE. SUPPLY UTILITY COMPANY FOR RIGID GALVANIZED STEEL. PROVIDE 18" MINIMUM COVER BELOW GRADE ALONG ENTIRE LENGTH OF UNDERGROUND CONDUITS.
3. ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. CONTROL CONDUCTORS SHALL BE STRANDED. POWER & LIGHTING CONDUCTORS SHALL BE SOLID. CONDUIT SHALL BE RATED FOR USE WITH THE CABLES AND FITTINGS SPECIFIED. SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. INTERIOR CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH COMPRESSION TYPE FITTINGS.
4. ELECTRICAL DRAWINGS ARE IN PART PARAMOUNT. COORDINATE ELECTRICAL WORK WITH BUILDING STRUCTURE AND MECHANICAL EQUIPMENT. PROVIDE ADDITIONAL SUPPORTS FOR ELECTRIC EQUIPMENT. PROVIDE THE BUILDING STRUCTURE IS NOT SUITABLE FOR ELECTRIC EQUIPMENT. PROVIDE THE BUILDING STRUCTURE IS NOT SUITABLE FOR ELECTRIC EQUIPMENT. PROVIDE THE BUILDING STRUCTURE IS NOT SUITABLE FOR ELECTRIC EQUIPMENT.
5. CONTACT UTILITY COMPANY AND ENGINEER IMMEDIATELY. CAPS NOT DUE TO TAKE.
6. PROVIDE 200 LB TEST PULL WIRES IN EACH DEDICATED TELEPHONE AND POWER CONDUIT.
7. PROVIDE 200 LB TEST PULL WIRES IN EACH DEDICATED TELEPHONE AND POWER CONDUIT.
8. PROVIDE 200 LB TEST PULL WIRES IN EACH DEDICATED TELEPHONE AND POWER CONDUIT.
9. PROVIDE 200 LB TEST PULL WIRES IN EACH DEDICATED TELEPHONE AND POWER CONDUIT.
10. CONDUIT TO BE INSTALLED PER NEC REQUIREMENTS. MAX OF 4 90°S ALLOWED IN SINGLE RUN OF CONDUIT. IF MORE BENDS ARE REQUIRED INSTALL PULL BOX EVERY 450'.
11. CONDUIT SHALL BE INSTALLED FROM ROW OF PUBLIC ROAD TO COMPOUND. HAND HOLES TO BE INSTALLED IN ROW AT COMPOUND AND EVERY 450' BETWEEN (OR AS DIRECTED BY UTILITY OR REQUIRED BY NEC). USE CONDUIT FOR CORRECT FIBER PROVIDER. PROVIDE APPROVED EQUIPMENT.

# GENERAL GROUNDING NOTES:

1. TO ENSURE PROPER BONDING, ALL CONNECTIONS SHALL BE AS FOLLOWS:
  - 1.1. #2 TINNED SOLID COPPER WIRE: COWELED TO ROOF OR GROUND RING LUGS AND BUS BAR (UNLESS NOTED OTHERWISE). SAVED CLEAN, COATED LUGS SHALL BE COPPER (NO ALUMINUM SHALL BE PERMITTED). PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
  - 1.2. ALL CONDUIT, SEAL AROUND CONDUIT THROUGH WALLS. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTORS.
  2. GROUND ROOF SHOULD BE SPACED 2X HEIGHT APART AROUND COMPOUND.
  3. VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE WILL BE PRESENT TO INSPECT COWELED AND WEEGER TEST DURING BURIAL. MAXIMUM 5 OHMS RESISTANCE IS REQUIRED. IF COMPOUND GROUND RING AND ROOF GROUND RING SPACED AT 2X HEIGHT APART.
  4. DO NOT INSTALL GROUND RING OUTSIDE OF LEASED AREA.
  5. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID 90 DEGREE BENDS. BENDS SHALL BE A MINIMUM OF 180 DEGREES AND NO GREATER THAN 90 DEGREES.
  6. ALL COWELED TO BURIED GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RING WHICH SHALL BE THE PERPENDICULAR TYPE.
  7. RING OF GROUND RING SHALL BE THE PERPENDICULAR TYPE.
  8. LIFTING EYE/PLATES TO GROUND RING, BOND METAL ANVING TO DOOR FRAME.
  9. ALL GROUNDING TO ABOVE GRADE RIGID CONDUITS TO BE ATTACHED USING A 3/4" DIA. BOLT AND NUT. ALL CONDUITS TO BE ATTACHED TO BUS BAR ARE TO BE 2 - HOLE LUGS.
  10. ALL BUS BAR SHALL BE GALVANIZED. ALL CONNECTIONS TO BUS BAR ARE TO BE 2 - HOLE LUGS.
  11. ALL GROUNDING IS TO COMPLY WITH VERIZON NETA-4. IF YOU DO NOT HAVE A COPY OF THE PROJECT/STANDARD PLEASE REQUEST A COPY FROM THE PROJECT MANAGER.



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SHEET NAME	
BEEKS D	
SWM# 20-0819	
FILE ID: 16636897	
PSLC #: 500272	
DESIGNED: JDS	DRAWN: WSH
CHECKED: BS	
SHEET NAME	
ELECTRICAL NOTES	
SHEET NUMBER	
E-1	





**CONSULT WITH CM FOR FIBER PROVIDER REQUIREMENTS PRIOR TO CONSTRUCTION**

REFER TO E-1 FOR  
GENERAL ELECTRICAL NOTES

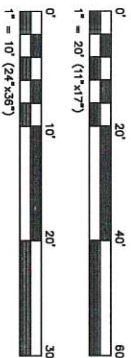


**UTILITY SCHEDULE:**

1. CONTRIBUTE TO INSTALL (2) 3" CONDUITS WITH PULL STRING FOR POWER SERVICE FROM NEW TRANSFORMER TO NEW MULTI-TENANT METER CENTER. (SEE P/CM FOR DETAILS ON SIZE, TUB, IP, LOCATION, OR WEATHER HEAD LOCATION REQUIREMENTS. (REFER TO N.E.C. AND LOCAL CODES FOR BURAL REQUIREMENTS. SEE DETAIL 6, SHEET E-5 FOR TECHNICAL EXAMPLE.)
2. PROVIDE (1) 2½" 3" CONDUIT FOR POWER SERVICE FROM MULTI TENANT METER CENTER TO 200A, 120/240V, 1ø INTEGRATED LOAD CENTER (ILC).
3. PROVIDE (1) 3½" 3" CONDUIT W/PULL STRING AND INTEGRATED LOAD CENTER FROM PRIMARY TELCO BOX MOUNTED ON PRIMARY UTILITY H-FRAME TO VERIZON TELCO BOX ON VERIZON EQUIPMENT H-FRAME. (SEE C-4 FOR H-FRAME DETAIL).
4. PROVIDE (2) 1-1/2" 3" CONDUITS FOR POWER FROM INTEGRATED LOAD CENTER TO PRIMARY CABINET.
5. NOT USED
6. NOT USED
7. NOT USED
8. NOT USED
9. PROVIDE (1) 2" CONDUIT FROM VERIZON TELCO BOX TO PRIMARY CABINET FOR FIBER.
10. NOT USED.
11. NOT USED.
12. NOT USED.
13. PROVIDE (1) 4ø16 1/2 LT FIBER SERVICE AND (1) 4ø41 1/2 DARK SERVICE (1) 4ø16 1/2 LT FIBER SERVICE AND (1) 4ø41 1/2 DARK SERVICE) 2-1" PULL ROUTE HAND-POLE AND PULL BOX LOCATIONS. PULL BOX SPACING SHALL BE NO GREATER THAN 300'.
14. PROVIDE (1) 1" CONDUIT FOR POWER FROM INTEGRATED LOAD CENTER TO LIGHTS, TIMER AND CONVENIENCE OUTLET.
15. NOT USED

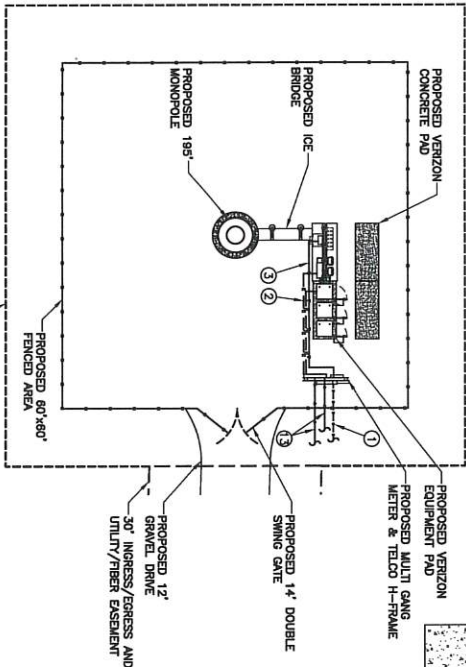
**SCHEDULE NOTES:**

- SCHEDULING NOTES:**
1. SEE SHEET E-2 FOR WIRING REQUIREMENTS.
  2. ALL CONDUITS INSTALLED WITH PULL STRING UNLESS OTHERWISE NOTED.
  3. MAINTAIN ALL CLEARANCES AS REQUIRED BY N.E.C.

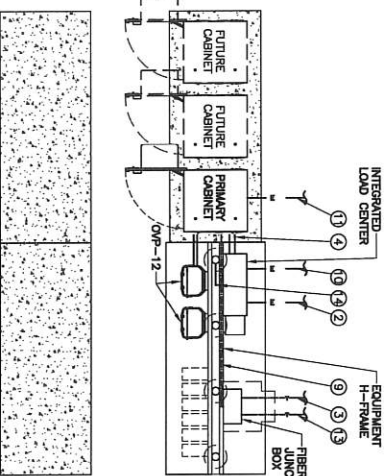


1  
E-3

ELECTRICAL SITE PLAN



2 TYPICAL ELECTRICAL SCENARIO  
E-3 NOT TO SCALE

[illegible]

05/12/22

SITE NAME  
BEEKS D

SMW#:	20-0819
FUZE ID:	16636697
PSLC #:	500272
DESIGNED:	JDS
DRAWN:	WSM
CHECKED:	BS

14

UTILITY SITE PLAN

**SHEET NUMBER**

॥

UTILITY COORDINATION NOTES AS OF 04/08/22:

- PER WEBSITE: SOUTHERN RIVERS ENERGY, PLEASE USE OUR COMMERCIAL APPLICATION, YOU MAY MAIL IT TO: P.O. BOX 40, BARNESVILLE, GA 30004, OR FAX IT TO: 770-359-1333.
- PERSON: JUSTIN EUBANKS, OPERATIONS MANAGER, JUSTINSRVERS.NET
- POWER ELECTRIC WILL COME OFF LAST POLE WHERE THE DRAINWAY SPLITS AND RUN UNDERGROUND PRIMARY ALONG VERDONS DRAINWAY EASEMENT, INSTALL A TRANSFORMER NEAR THE FENCE AROUND THE TOWER.
- TIME FRAME TO COMPLETE SERVICE IS 7 TO 10 DAYS AS OF 4-8-2022.

POWER COMPANY CONTACT INFORMATION:

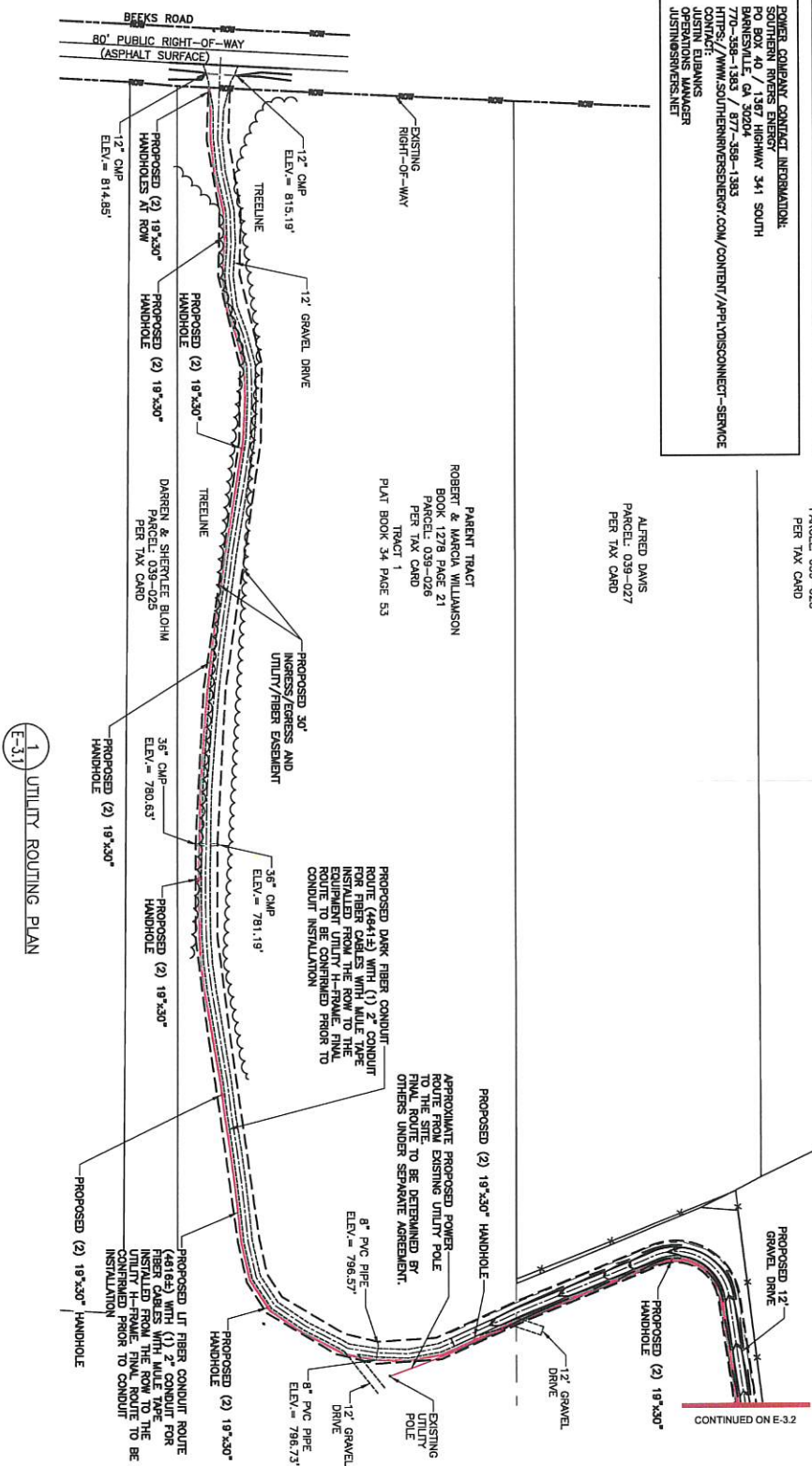
SOUTHERN RIVERS ENERGY  
 PO BOX 40 1387 HIGHWAY 341 SOUTH  
 BARNESVILLE, GA 30004  
 770-359-1333 / 877-359-1333  
[HTTPS://WWW.SOUTHERNRIVERSENERGY.COM/CONTENT/APPLVDISCONNECT-SERVICE](https://www.southernriversenergy.com/content/applvdisconnect-service)  
 CONTACT: JUSTIN EUBANKS  
 OPERATIONS MANAGER  
 JUSTINSRVERS.NET

CONSULT WITH CM FOR FIBER PROVIDER REQUIREMENTS PRIOR TO CONSTRUCTION

CHARLES & NINA P DAVIS  
 PARCEL: 039-028  
 PER TAX CARD

ALFRED DAVIS  
 PARCEL: 039-027  
 PER TAX CARD

PARENT TRACT  
 ROBERT & MARCIA WILLIAMSON  
 BOOK 1278 PAGE 21  
 PARCEL: 039-028  
 PER TAX CARD  
 TRACT 1  
 PLAT BOOK 34 PAGE 53



1  
E-31  
UTILITY ROUTING PLAN



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION

GEORGIA PROFESSIONAL ENGINEER  
 No. PE37288  
 JAMES B. SMART  
 08/12/22

SHEET NAME  
 BEEKS D

SWW: 20-0819  
 FUSE ID: 1653887  
 PLOT #: 500272

DESIGNED: JWS  
 DRAWN: WSM  
 CHECKED: BS

SHEET NUMBER  
 E-3.1



UTILITY COORDINATION NOTES AS OF 04/08/22:

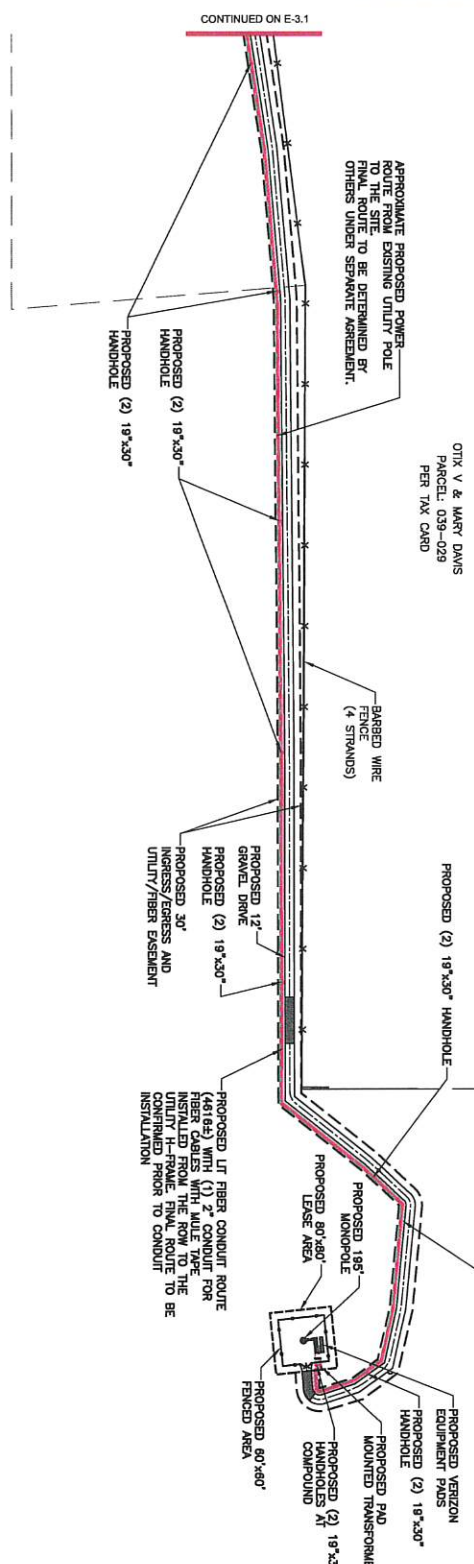
- PER WESTERN POWER SERVICE AT A BUSINESS, PLEASE USE OUR COMMERCIAL APPLICATION, YOU MAY MAIL IT TO: P.O. BOX 40, BARNESVILLE, GA 30024, OR FAX THE APPLICATION TO THE OFFICE AT 770-218-1339 OR SUBMIT IT TO US IN PERSON.
- PERSON: JUSTIN ELBANKS, OPERATIONS MANAGER, JUSTIN@WESTERNPOWER.NET
- POWER ELECTRIC WILL COME OFF LAST POLE WHERE THE DRAINWAY SPLITS AND RUN UNDERGROUND PRIMARY ALONG VERZON'S DRAINWAY EASEMENT. INSTALL A UNDERGROUND POLE AT 1520'.
- THE FRAME TO COMPLETE SERVICE IS 7 TO 10 DMS AS OF 4-8-2022.

**PARENT TRACT**  
 ROBERT & MARCIA WILLIAMSON  
 BOOK 1278 PAGE 21  
 PARCEL: 039-026  
 PER TAX CARD  
 PLAT BOOK 34, PAGE 53

CONSULT WITH CM FOR FIBER PROVIDER REQUIREMENTS PRIOR TO CONSTRUCTION

JEFF TURNER E&A  
 PARCEL: 039-045  
 PER TAX CARD

PROPOSED DARK FIBER CONDUIT FOR FIBER CABLES WITH MULE TAPE INSTALLED FROM THE ROW TO THE EQUIPMENT UTILITY H-FRAME. FINAL ROUTE TO BE DETERMINED PRIOR TO CONDUIT INSTALLATION



CONTINUED ON E-3.1

1  
E-3.2  
UTILITY ROUTING PLAN



#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME: BEEKS D

SNW#: 20-0819

PLZ ID: 16636897

PLC #: 500272

DESIGNED: JDS

DRAWN: WSM

CHECKED: BS

SHEET NAME: UTILITY SITE PLAN

SHEET NUMBER: E-3.2

#	DATE	DESCRIPTION:
0	11/10/21	ISSUED FOR CLIENT REV.
1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME: BEEKS D

SW#F: 20-0819

FLZE ID: 16636697

PLC #: 500272

DESIGNED: JWS

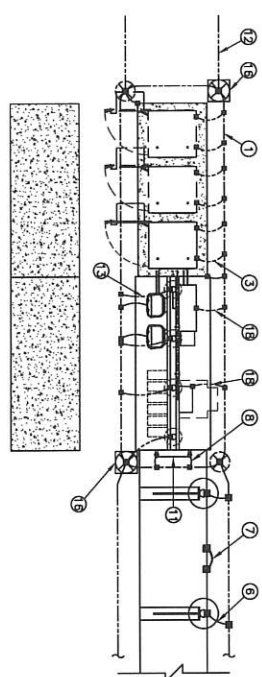
DRAWN: WSM

CHECKED: BS

SHEET NAME: GROUNDING SITE PLAN

SHEET NUMBER: E-4

REFER TO E-1 FOR  
GENERAL GROUNDING NOTES

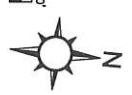


2 TYPICAL GROUNDING SCENARIO  
E-4

GROUNDING SCHEDULE:

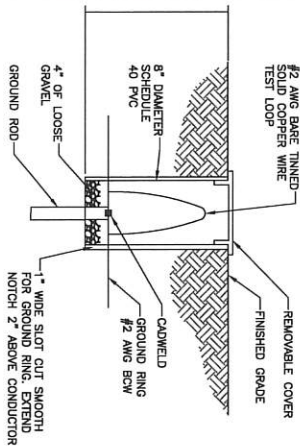
1. PROVIDE #2 COPPER GROUND RING BURIED AT MINIMUM 30" BELOW GRADE.
2. NOT USED
3. BOND EACH CABINET TO GROUND RING IN 2 PLACES.
4. BOND CABLE GROUND KIT TO TOWER GROUND BAR.
5. BOND TOWER GROUND BAR TO GROUND RING.
6. BOND EVERY ICE BRIDGE POST TO GRP STRUT. (TYP.)
7. CONNECT ICE BRIDGE SECTIONS WITH JUMPEERS. (TYP.)
8. BOND CABLE GROUND KIT TO EQUIPMENT GROUND BAR AND GROUND RING.
9. BOND TOWER GROUND RING TO COMPOUND GROUND RING (TYP.)
10. BOND TOWER TO TOWER GROUND RING TYPICAL AT EACH LEG. (3 PLACES)
11. CABINET GROUND BAR
12. BOND ALL FENCE POST WITHIN 6' OF GROUND RING TO GROUND RING.
13. BOND EQUIPMENT H-FRAME POST TO GROUND RING. (TYP.)
14. GROUND BUS BAR ON NEW METER TO GROUND ROD.
15. BOND EACH FENCE/GATE POST TO GROUND RING.
16. INSPECTION SLEEVE, SEE DETAIL 1 ON SHEET E-5
17. NOT USED
18. BOND ALL EQUIPMENT CABINETS TO GROUND RING
19. NOT USED

1 GROUNDING SITE PLAN  
E-4

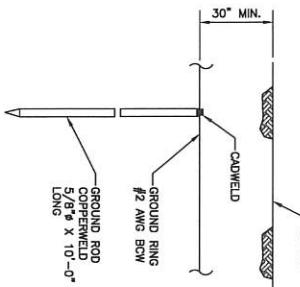


LEGEND

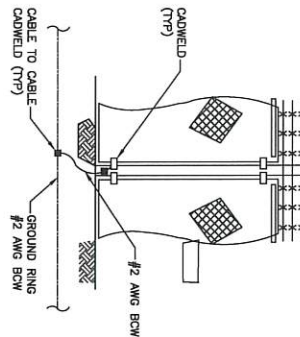
—X—	FENCE	(X)	CODED NOTE NUMBER
—	CONTOUR LINE	(C)	CHEMICAL GROUND ROD
—	PROPERTY LINE/ROW	(R)	GROUND ROD
---	LEASE AREA	(W)	GROUND ROD W/ INSPECTION SLEEVE
---	EASEMENT	(C)	CADWELD TYPE CONNECTION
—	DISCONNECT SWITCH	(O)	COMPRESSION TYPE CONNECTION
(M)	METER		GROUND WIRE
(CB)	CIRCUIT BREAKER		



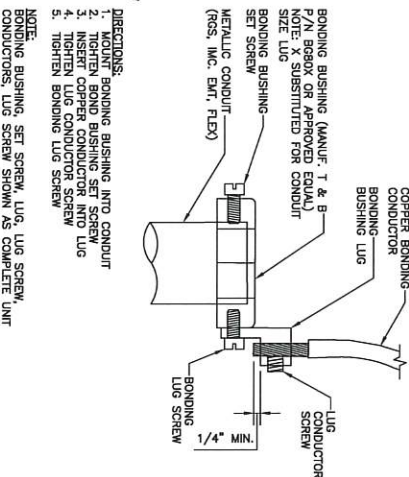
1 GROUND ROD INSPECTION WELL  
E-5 NOT TO SCALE



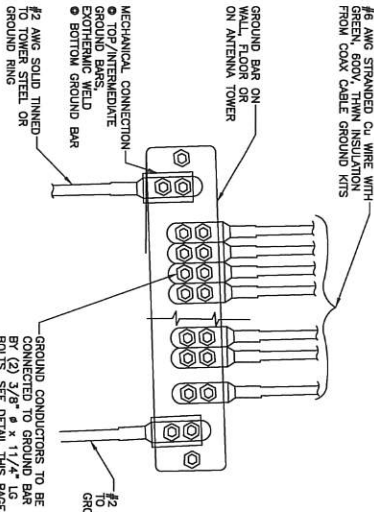
2 GROUND ROD DETAIL  
E-5 NOT TO SCALE



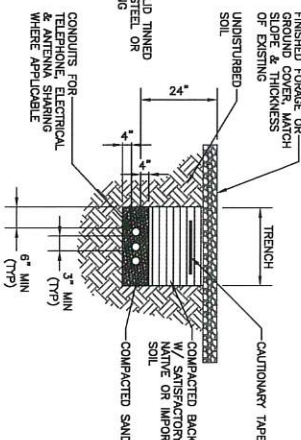
3 FENCE GROUNDING  
E-5 NOT TO SCALE



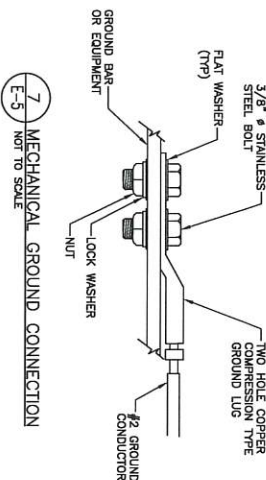
4 CONDUIT BOND/GROUND BUSHING  
E-5 NOT TO SCALE



- NOTES:
1. GALVANIZED STEEL GROUND BAR 1/4"x4"x1/2" 2-HOLE CONNECTORS TO MATCH NEKA DOUBLE LUG CONFIGURATION
  2. BARS AND FOR COAX CABLE ENTRY POINT GROUND TOWER GROUND
  3. VZW STOLEN PROPERTY TO BE ENGRAVED IN STEEL.





6 DIRECT BURIED CONDUIT  
E-5 NOT TO SCALE

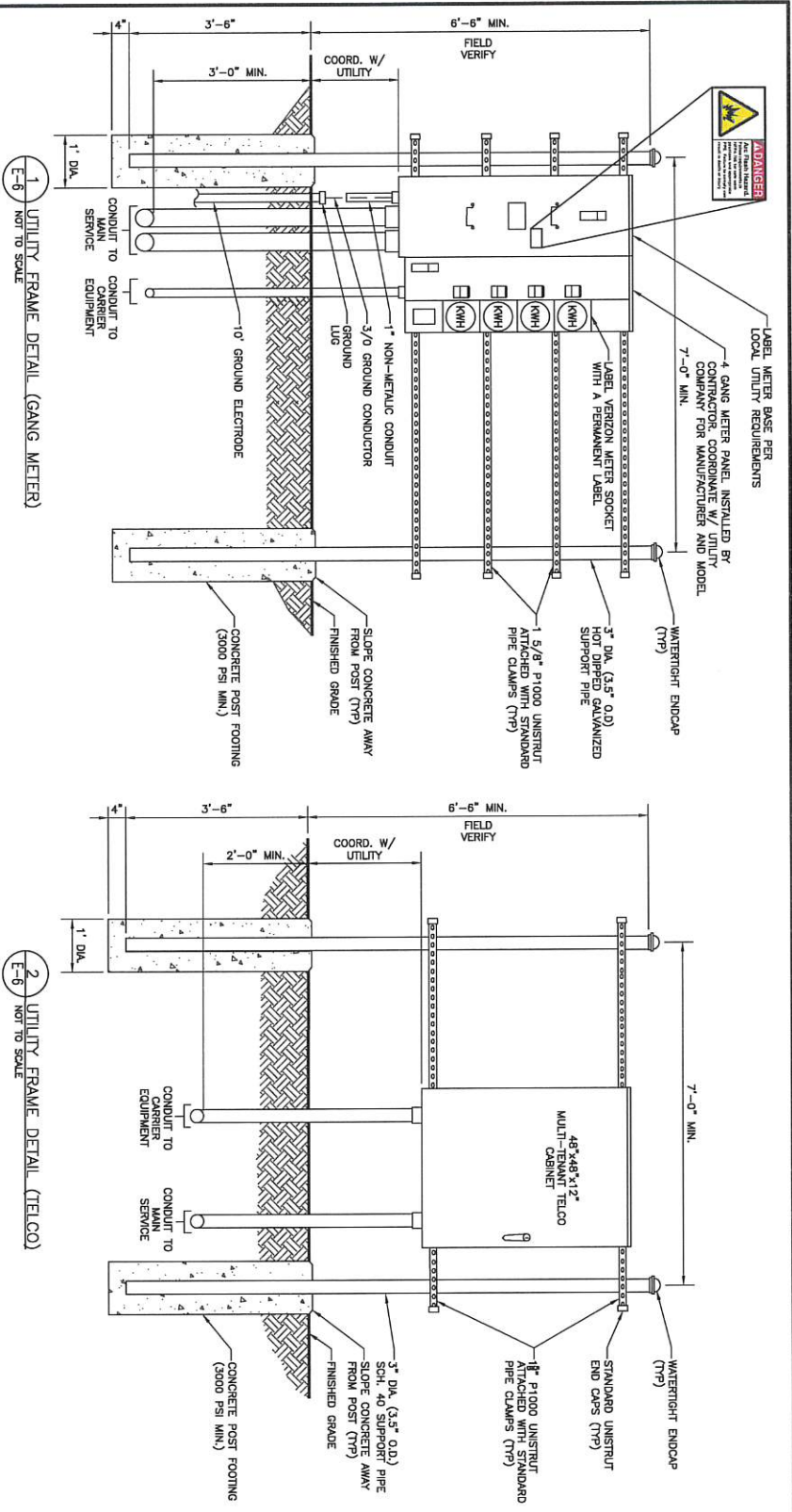


7 MECHANICAL GROUND CONNECTION  
E-5 NOT TO SCALE

5 INSTALLATION OF GRD WIRE TO COAX CABLE GRD BASE  
E-5 NOT TO SCALE

			
ENGINEERING GROUP, INC.			
DATE		DESCRIPTION:	
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04/13/22		ISSUED FOR CONSTRUCTION	
05/12/22		ISSUED FOR CONSTRUCTION	
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DATE		DESCRIPTION	
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04/13/22		ISSUED FOR CONSTRUCTION	
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1 UTILITY FRAME DETAIL (GANG METER)  
E-6 NOT TO SCALE

2 UTILITY FRAME DETAIL (TELCO)  
E-6 NOT TO SCALE

- NOTES:
1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDestal AS SHOWN ON SITE PLAN. INSTALL THE METER PEDestal NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
  2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
  3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
  4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
  5. TELCO CABINET SHALL BE 48"x48"x12" HOFFMAN OR EQUIVALENT. PROVIDE 3" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
  6. ADJUSTMENTS TO THE METER PEDestal DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.



#	DATE	DESCRIPTION:
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1	04/13/22	ISSUED FOR CONSTRUCTION
2	05/12/22	ISSUED FOR CONSTRUCTION



SITE NAME: BEEKS D

SW# 20-0819

PLU ID: 16636897

PLC #: 500272

DESIGNED: JUS

DRAWN: WSA

CHECKED: BS

SHEET NAME: PRIMARY UTILITY FRAME DETAILS

SHEET NUMBER: E-6



---

### Photo Simulation:

site name: **BEEKS D**  
location code: **500272**  
project no: **20181830965**  
address: **Near 174 BEEKS ROAD**  
**WILLIAMSON, GA 30292**

---

### Prepared for:

**verizon**  
**10300 Old Alabama Connector Rd**  
**Alpharetta, Georgia 30022**



# PHOTOGRAPHIC SIMULATION

PROPOSED WIRELESS COMMUNICATIONS FACILITY

SITE NAME: BEEKS D

SITE LOCATION: 33° 08' 39.311", -84° 24' 42.321"

NEAR 174 BEEKS ROAD  
WILLIAMSON, GA 30292

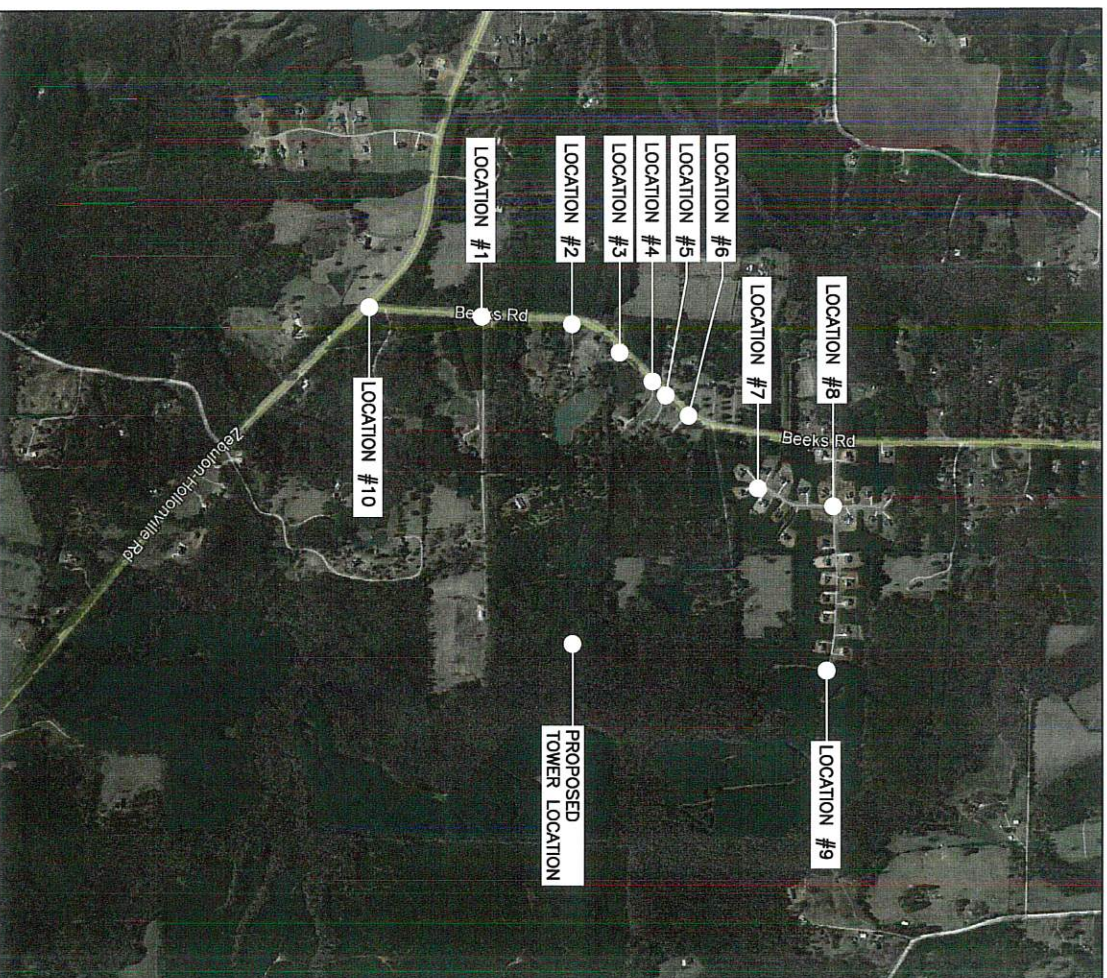
DATE: 4/21/22

APPLICANT: VERIZON WIRELESS  
10300 OLD ALABAMA ROAD CONN  
ALPHARETTA, GA 30022

PHOTOSIM LOCATION	DISTANCE TO PROPOSED TOWER
LOCATION #1	3,710'
LOCATION #2	3,505'
LOCATION #3	3,265'
LOCATION #4	3,005'
LOCATION #5	2,925'
LOCATION #6	2,815'
LOCATION #7	2,675'
LOCATION #8	3,205'
LOCATION #9	2,785'
LOCATION #10	4,285'
DISTANCES ARE APPROXIMATE AND FOR REFERENCE ONLY	

THE INCLUDED PHOTOGRAPHIC SIMULATIONS(S) ARE INTENDED AS VISUAL REPRESENTATIVES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. THE MATERIALS WITHIN THE INCLUDED PHOTOGRAPHIC SIMULATIONS(S) ARE SUBJECT TO CHANGE.

SITE LOCATION MAP



BEEKS D

COVER SHEET



DATE: 4/21/22

DRAWN BY: BMD

SMW # 20-0819







PROPOSED 195' MONOPOLE  
CONCEALED BEHIND  
EXISTING TREE LINE

BALLOON NOT VISIBLE

EXISTING VIEW  
TAKEN FROM THE SOUTHWEST LOOKING NORTHEAST

BEEKS D

PHOTO SIMULATION  
LOCATION #1

FOR VISUAL REFERENCE ONLY, ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



ENGINEERING GROUP, INC.  
TOGETHER PLANNING A BETTER TOMORROW  
198 BUSINESS CENTER DRIVE  
SMYRNA, GA 30080  
TEL: 770-432-8865 FAX: 770-432-1504

DATE: 4/21/22

DRAWN BY: BMD

SMW # 20-0819

verizon





EXISTING VIEW  
TAKEN FROM THE WEST LOOKING EAST

**BEEKS D**

**PHOTO SIMULATION  
LOCATION #2**

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



**SMM**  
ENGINEERING GROUP, INC.  
TOGETHER PLANNING A BETTER TOMORROW  
186 BRUNNENGLAND AVENUE  
BRUNNENGLAND, AL 35004  
TEL: 205-352-0885 FAX: 205-350-1904

DATE: 4/21/22

DRAWN BY: BMD

SMM #: 20-0819







EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST

BEEKS D

PHOTO SIMULATION  
LOCATION #3

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



DATE: 4/21/22

DRAWN BY: BMD

SWM # 20-0819

verizon





EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST

BEEKS D

PHOTO SIMULATION  
LOCATION #4

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



TOGETHER PLANNING A BETTER TOMORROW  
100 BUSINESS CENTER DRIVE  
BIRMINGHAM, AL 35244  
TEL: 205-252-3000 FAX: 205-252-1904

DATE: 4/21/22

DRAWN BY: BMD

SMW #: 20-0819

verizon





EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST

BEEKS D

PHOTO SIMULATION  
LOCATION #5

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



DATE: 4/21/22

DRAWN BY: BMD

SMW # 20-0819







EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST

BALLOON NOT VISIBLE

PROPOSED 195' MONOPOLE  
CONCEALED BEHIND  
EXISTING TREE LINE

BEEKS D

PHOTO SIMULATION  
LOCATION #6

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



ENGINEERING GROUP, INC.  
TOGETHER PLANNING A BETTER TOMORROW  
188 BUSINESS CENTER DRIVE  
BIRMINGHAM, AL 35244  
TEL: 205-253-0888 FAX: 205-269-1504

DATE: 4/21/22

DRAWN BY: BMD

SMM #: 20-0819

verizon





EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST



BEEKS D

PHOTO SIMULATION  
LOCATION #7

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



DATE: 4/21/22

DRAWN BY: BMD

SMW #: 20-0819





EXISTING VIEW  
TAKEN FROM THE NORTHWEST LOOKING SOUTHEAST



BEEKS D

PHOTO SIMULATION  
LOCATION #8

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.

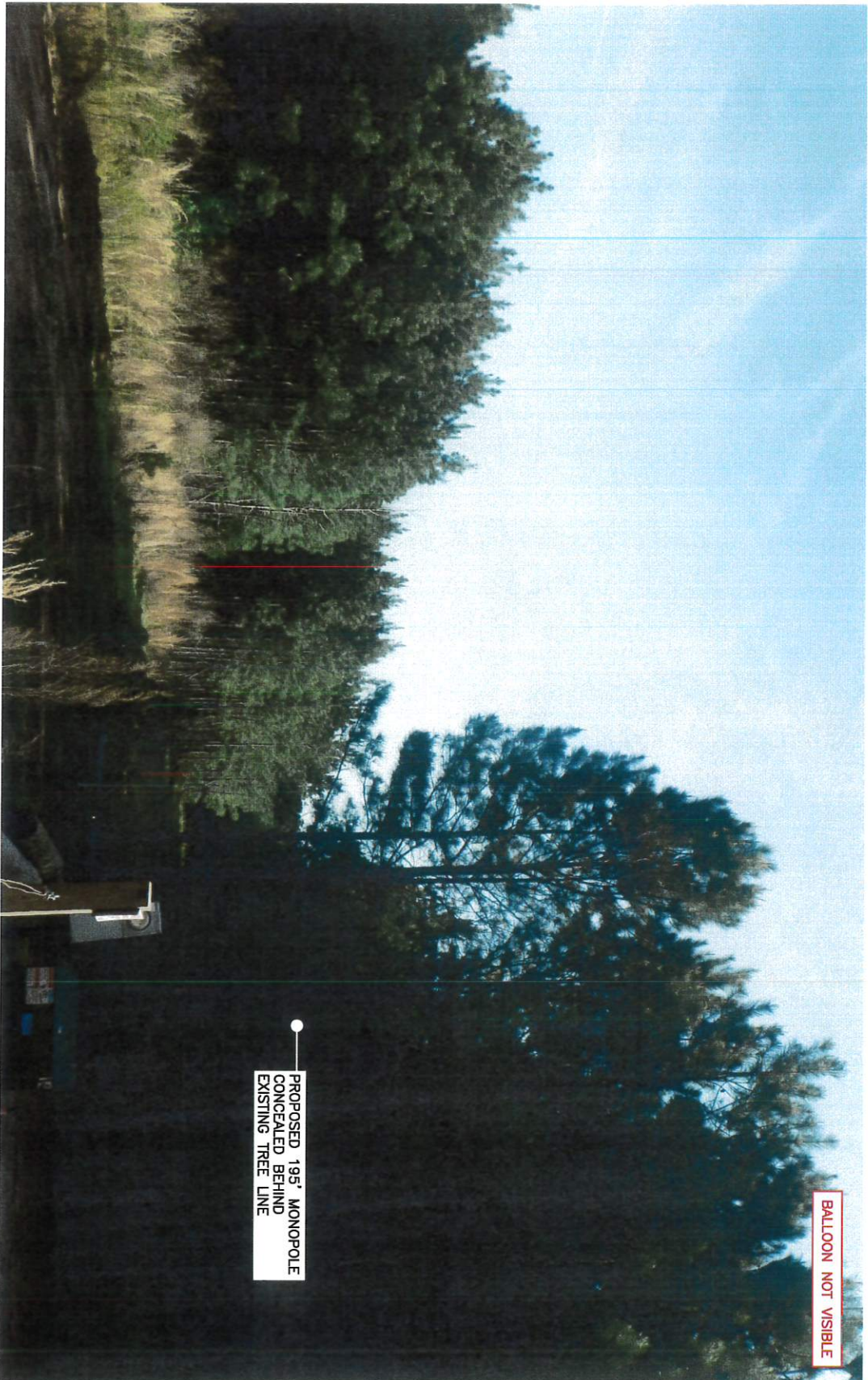


DATE: 4/21/22

DRAWN BY: BMD

SMW #: 20-0819





BALLOON NOT VISIBLE

PROPOSED 195' MONOPOLE  
CONCEALED BEHIND  
EXISTING TREE LINE

EXISTING VIEW  
TAKEN FROM THE NORTH LOOKING SOUTH

BEEKS D

PHOTO SIMULATION  
LOCATION #9

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



DATE: 4/21/22

DRAWN BY: BMD

SMW #: 20-0819





EXISTING VIEW  
TAKEN FROM THE SOUTHWEST LOOKING NORTHEAST

## BEEKS D

### PHOTO SIMULATION LOCATION #10

FOR VISUAL REFERENCE ONLY. ACTUAL VISIBILITY IS DEPENDANT UPON  
WEATHER CONDITIONS, SEASON, SUNLIGHT AND VIEWER LOCATION.



DATE: 4/21/22

DRAWN BY: BMD

SMM #: 20-0819



\*\*\*\*\*

\* Federal Airways & Airspace  
\*  
\* Summary Report: New Construction  
\*  
\* Antenna Structure  
\*

\*\*\*\*\*

Airspace User: Shennay Hampton  
File: BEEKS  
Location: Williamson, GA  
Latitude: 33°-08'-39.31" Longitude:  
84°-24'-42.32"  
SITE ELEVATION AMSL.....789 ft.  
STRUCTURE HEIGHT.....199 ft.  
OVERALL HEIGHT AMSL.....988 ft.

#### NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)  
FAR 77.9(b): NNR (DNE Notice Slope)  
FAR 77.9(c): NNR (Not a Traverse Way)  
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria  
for GA2  
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria  
for 6A2  
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required  
NNR = Notice Not Required  
PNR = Possible Notice Required (depends upon actual IFR  
procedure)

For new construction review Air Navigation  
Facilities at bottom  
of this report.

Notice to the FAA is not required at the analyzed location  
and height for  
slope, height or Straight-In procedures. Please review the  
'Air Navigation'  
section for notice requirements for offset IFR procedures  
and EMI.

#### OBSTRUCTION STANDARDS

FAR 77.17(a) (1): DNE 499 ft AGL

FAR 77.17(a) (2): DNE - Airport Surface  
 FAR 77.19(a): DNE - Horizontal Surface  
 FAR 77.19(b): DNE - Conical Surface  
 FAR 77.19(c): DNE - Primary Surface  
 FAR 77.19(d): DNE - Approach Surface  
 FAR 77.19(e): DNE - Approach Transitional Surface  
 FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: GA2: PEACH STATE AERODROME

Type: A RD: 18815.74 RE: 926

FAR 77.17(a) (1): DNE  
 FAR 77.17(a) (2): Does Not Apply.  
 VFR Horizontal Surface: DNE  
 VFR Conical Surface: DNE  
 VFR Primary Surface: DNE  
 VFR Approach Surface: DNE  
 VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: 6A2: GRIFFIN-SPALDING COUNTY

Type: A RD: 51355.45 RE: 957.6

FAR 77.17(a) (1): DNE  
 FAR 77.17(a) (2): DNE - Greater Than 5.99 NM.  
 VFR Horizontal Surface: DNE  
 VFR Conical Surface: DNE  
 VFR Primary Surface: DNE  
 VFR Approach Surface: DNE  
 VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)

FAR 77.17(a) (3) Departure Surface Criteria (40:1)  
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)

FAR 77.17(a) (4) MOCA Altitude Enroute Criteria  
 The Maximum Height Permitted is 1700 ft AMSL

PRIVATE LANDING FACILITIES

FACIL	BEARING	RANGE
IDENT TYP NAME	To FACIL	IN NM
ELEVATION IFR		
GA29 AIR WELLERS LANDING	306.07	1.21
+145 DNE Horizontal Surface. Check Runway Approach Surface. Within 1 NM. No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
3GA9 AIR VINTAGE FLD	110.76	1.85



+115	No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
	GA73 AIR SHADE TREE	296.48	2.34
+138	No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
	5GA3 AIR EAGLES LANDING	68.05	2.52
+8	No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
	GA68 AIR FLYING 'H' RANCH	226.82	2.58
+188	No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
	1GE5 AIR FLYING D	160.52	2.74
+150	No Impact to Private Landing Facility. DNE 200 ft AGL within 3 NM of Airport.		
	96GA AIR 3-M'S	41.46	3.32
+98	No Impact to VFR Transitional Surface. Below surface height of 232 ft above ARP.		
	GA75 AIR MEADOWLARK	174.54	3.43
+204	No Impact to VFR Transitional Surface. Below surface height of 243 ft above ARP.		
	8GA6 AIR S & S LANDING STRIP	76.79	4.72
+88	No Impact to VFR Transitional Surface. Below surface height of 372 ft above ARP.		
	GA10 AIR RIDGEVIEW FARM	146.27	5.43
+134	No Impact to VFR Transitional Surface. Below surface height of 443 ft above ARP.		
	4GA1 AIR THACKER FLD	173.51	5.98
+68	No Impact to VFR Transitional Surface. Below surface height of 498 ft above ARP.		

AIR NAVIGATION ELECTRONIC FACILITIES

	FAC	ST	DIST	DELTA
GRND	APCH			

ANGLE	IDNT	TYPE	AT	FREQ	VECTOR	(ft)	ELEVA	ST	LOCATION
BEAR									
	FFC	NDB	I	31	338.19	61407	+150	GA	
PECAT			.14						
	FFC	RADAR WXL	ON		329.47	92667	+16	GA	
PEACHTREE	CTY	AIR	.01						
	ATL	RADAR	I	2790.	358.19	176382	-88	GA	ATLANTA
ASR		-.03							
	ATL	VORTAC	R	116.9	357.7	176548	-52	GA	
ATLANTA			-.02						
	ATL	RADAR	I		359.04	181020	-369	GA	ATLANTA
ASDE		-.12							
	ATL	RADAR WXL	Y	5615.	13.99	188416	-93	GA	
DEKALB			-.03						

CFR Title 47, §1.30000-§1.30004

AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.

Movement Method Proof as specified in §73.151(c) is not required.

Please review 'AM Station Report' for details.

Nearest AM Station: WKEU @ 18553 meters.

Airspace® Summary Version 21.9.615

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10-28-2021

10:17:03

February 25, 2022

Amy Allen  
Project Manager  
SMW Engineering Group

RE.: Proposed 195' Sabre Monopole for Beeks D, GA

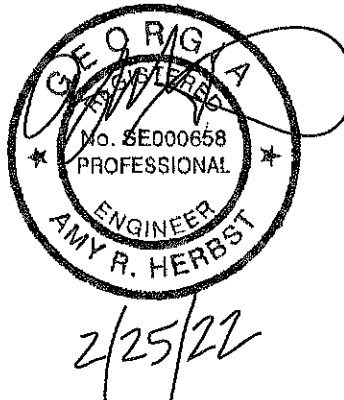
Dear Ms. Allen,

Upon receipt of order, we propose to design and supply a monopole and foundations for the above referenced site. The monopole and foundations will be designed for a Basic Wind Speed of 108 mph without ice and 30 mph with 1.5" ice, Risk Category II, Exposure Category C and Topographic Category 1, in accordance with ANSI/TIA-222-H and the 2018 International Building Code. The monopole design will also withstand a 6" snow load as there will be little to no surface area for accumulation and any snow would be blown off in the wind. The monopole will be designed to support four (4) carriers with twelve (12) antennas per carrier.

If you need anything further, please let us know.

Sincerely,

Amy R. Herbst, P.E., S.E.  
Senior Design Engineer







# **RF Justification with propagation maps**

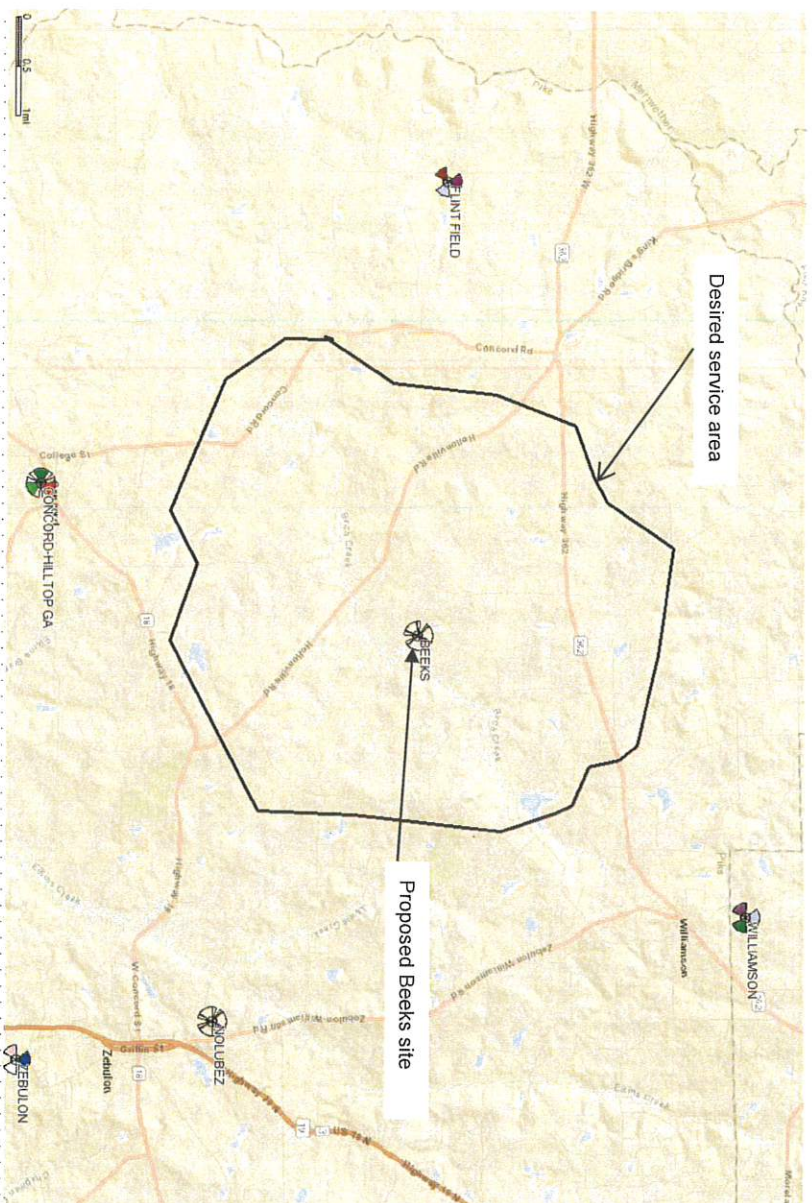
## **Beeks**

**13 Apr 2022**

**SRIHARI NIMMAGADDA**  
Radio Frequency Engineer  
Verizon Wireless



# Service Area



Note:- Nolubez is another proposed neighboring Verizon site near this area.

- Beeks proposed location is located near 174 Beeks Road, Williamson, GA 30292 in Peeks County
- Location Coordinates  
 $33^{\circ}08'39.31''N$ ,  $84^{\circ}24'42.32''W$
- Service improvements targeted in the area enclosed in black polygon as shown to the left. Objective is to improve In-building, In car & street level coverage within the desired service area (black polygon) for residences, farm houses, businesses, vehicles and pedestrians along major streets HWY 362, Zebulon-Hollonville Rd, Concord Rd, Beeks Rd, Reidsboro Rd, Turner Rd and other small streets enclosed with the desired service area enclosing an area of approximately 49 square kilometers. Major towns in the desired service area are Williamson and Concord.



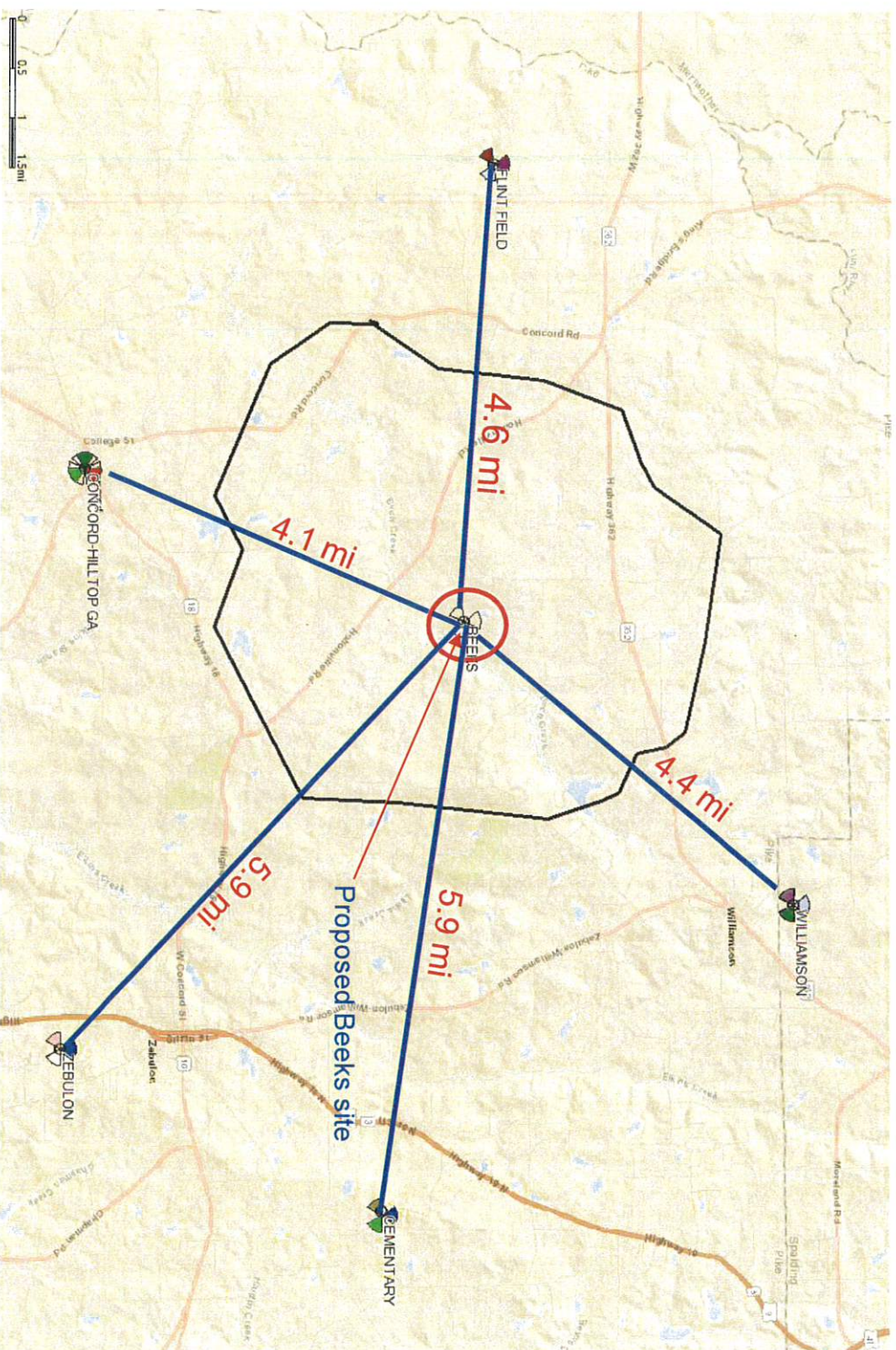
## Existing Verizon sites list around proposed site Beeks

Site Friendly Name	Latitude	Longitude	Street Address	State	City	County	Zip Code
WILLIAMSON	33.191722	-84.361861	1095 West Williamson Road	GA	Williamson	Spalding	30292
FLINT FIELD	33.149986	-84.49025277010).	Sebren 1 - Undeveloped land on River Road (parcel ID 011	GA	Concord	Pike	30206
CEMENTARY	33.130417	-84.31105556	287 Bolton Road	GA	Zebulon	Pike	30295
CONCORD-HILLTOP	33.089483	-84.43957777	220 Harris Steet	GA	Concord	Pike	30206
ZEBULON	33.084022	-84.340014	649 US Hwy 19 South	GA	Zebulon	Pike	30295





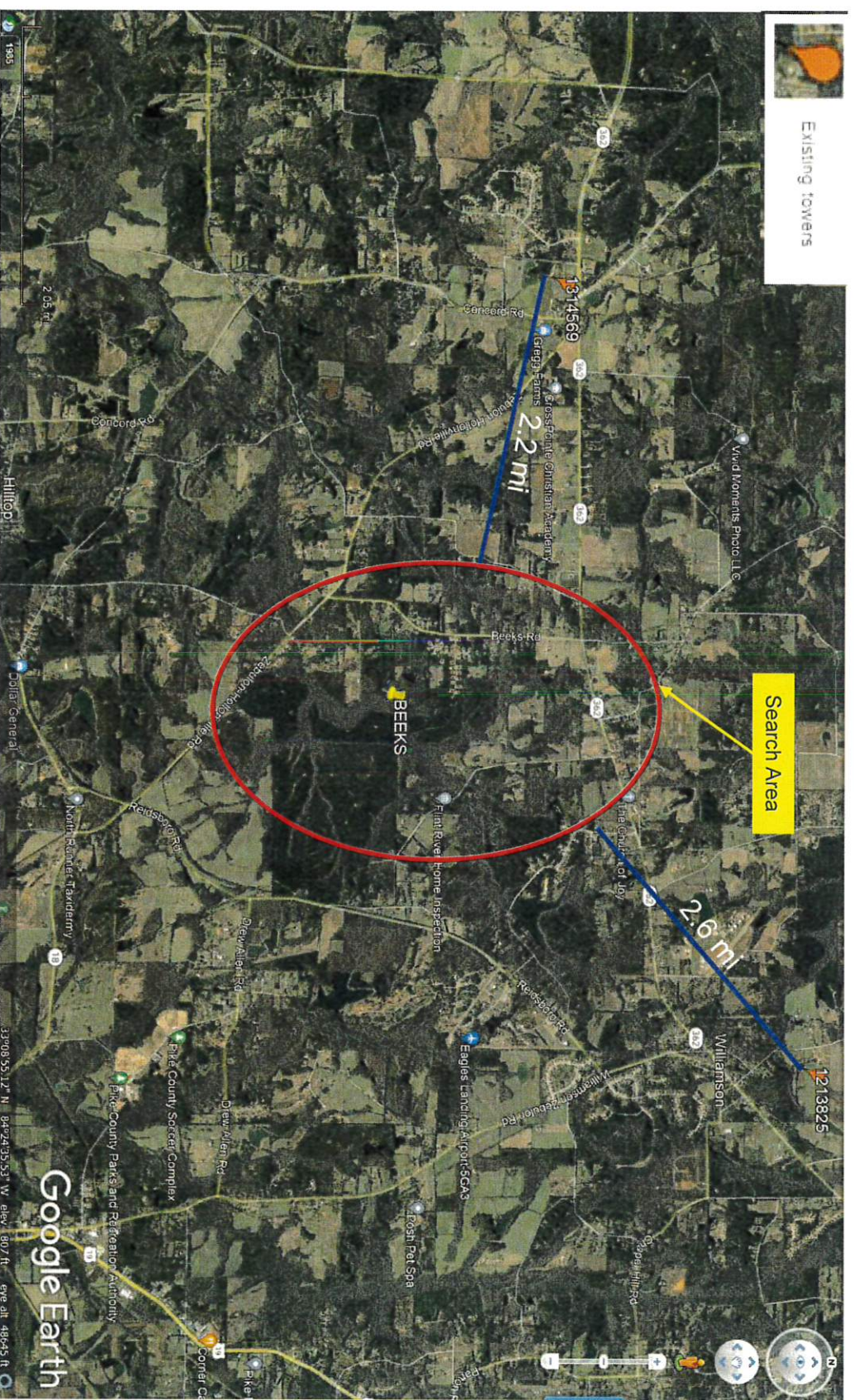
# Distance of proposed site to the existing VZW sites







# Inventory of existing towers around the Beeks search area – Google earth map







## Inventory of existing towers around the Beeks search area - Table

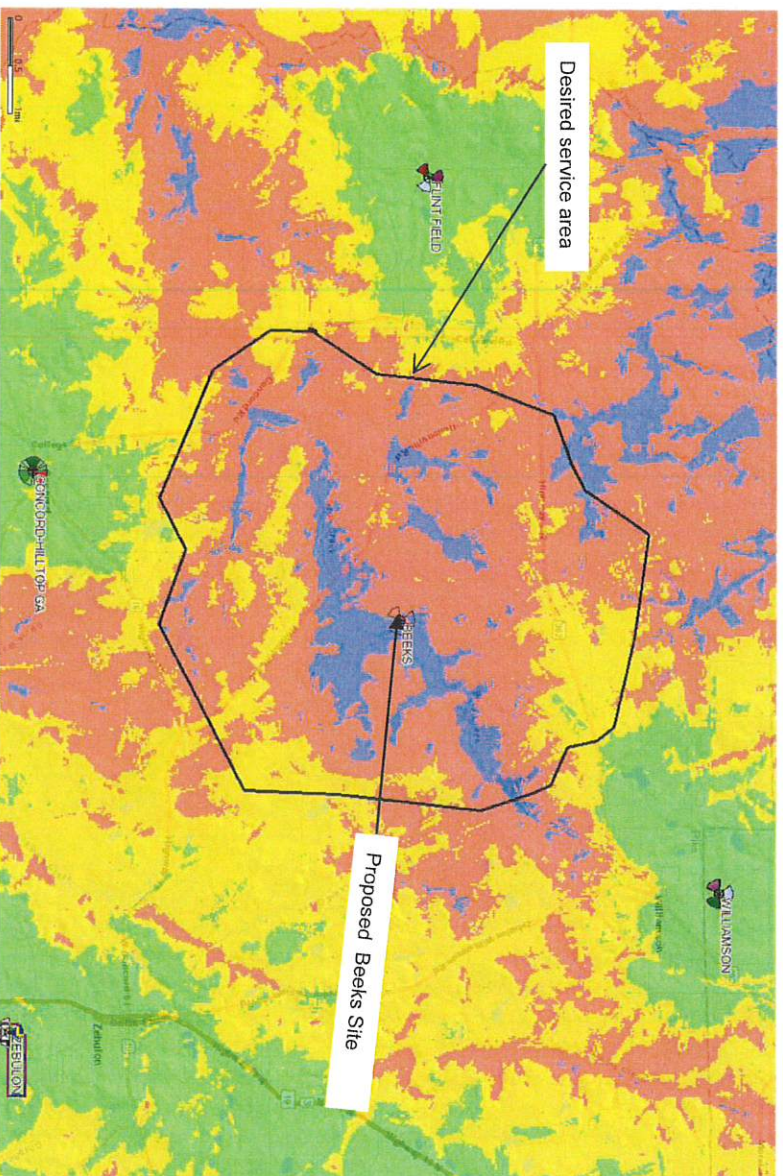
Owner Name	Registration Number	Latitude	Longitude	Structure City/State	Structure Height (ft)	Structure Type	Comments
CitySwitch II, LLC	1314569	33.1630278	-84.4663333	Concord, GA	250	Lattice tower	2.2 miles from search area. Doesn't meet coverage objectives.
American Towers, LLC	1213825	33.1917222	-84.3618611	Griffin, GA	150	Monopole	Existing Verizon site, Williamson

Nearest existing tower closer to search area is CitySwitch II, LLC which is also 2.2 miles far from search area. As shown in slide-10, CitySwitch II, LLC is not improving In building & In car coverage in majority of the desired service area and also having poor street level coverage in significant portions of the desired service area. Also as shown in slide-10, CitySwitch II, LLC tower to too close(only 1.5 miles) to existing Verizon site Flint field which would make it's coverage redundant due to too much overlap with Flint field coverage.





# Existing LTE Coverage



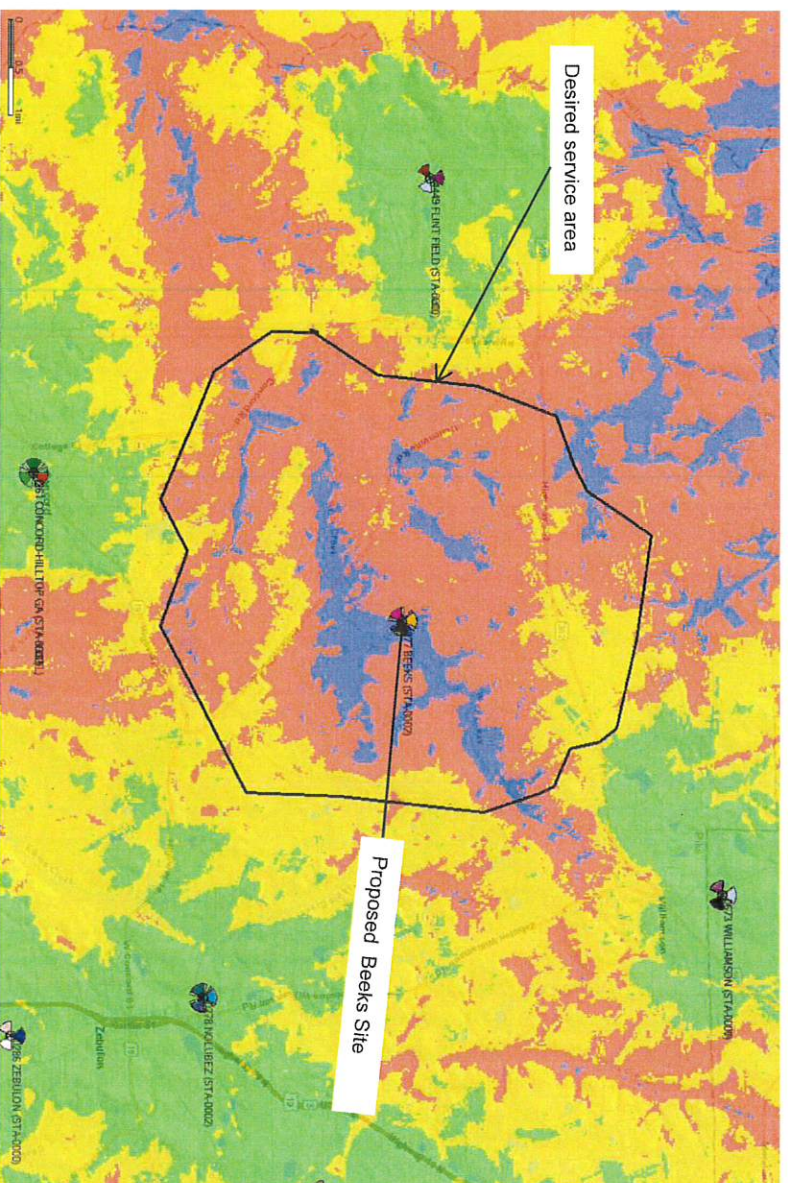
- Inbuilding Coverage
- In Car Coverage
- On Street Coverage
- Poor Coverage

As shown, there is no adequate In-building coverage within the desired service area (black polygon) for residences, farm houses, businesses, vehicles and pedestrians along major streets HWY 362, Zebulon-Hollonville Rd, Concord Rd, Beeks Rd, Reidsboro Rd, Turner Rd and other small streets enclosed with the desired service area enclosing an area of approximately 49 square kilometers. Also there is no adequate In Car coverage on majority of the streets within the desired service area and in majority areas even the On street coverage is poor as shown in blue areas.





# **LTE Coverage with Beeks site turned off (coverage includes existing on air Verizon sites & other proposed sites around the area)**



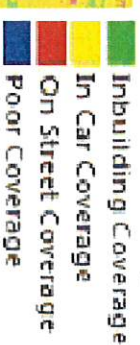
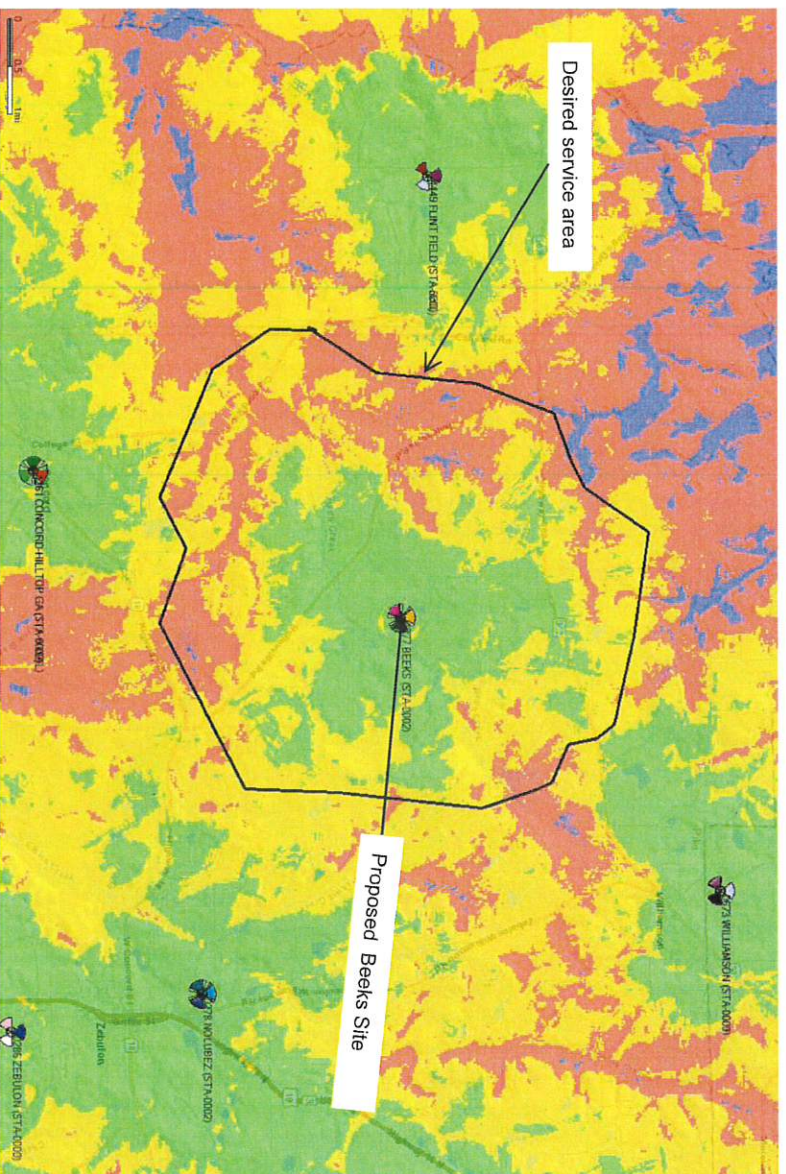
- As shown, there is no adequate In-building coverage within the desired service area (black polygon) for residences, farm houses, businesses, vehicles and pedestrians along major streets HWY 362, Zebulon-Hollonville Rd, Concord Rd, Beeks Rd, Reidsboro Rd, Turner Rd and other small streets enclosed with the desired service area enclosing an area of approximately 49 square kilometers. Also there is no adequate In Car coverage on majority of the streets within the desired service area and in majority areas even the On street coverage is poor as shown in blue areas.

Note:- Nolubez is another proposed neighboring Verizon site.





## Proposed LTE Coverage with Beeks\_Site – 190 feet Rad. Center



- As shown, there is good improvement in In-building coverage within the desired service area (black polygon) for residences, farm houses, businesses, vehicles and pedestrians along major streets HWY 362, Zebulon-Hollonville Rd, Concord Rd, Beeks Rd, Reidsboro Rd, Turner Rd and other small streets enclosed with the desired service area enclosing an area of approximately 49 square kilometers. Also In Car coverage & On street Coverage on majority of the streets within the desired service area is significantly improved..

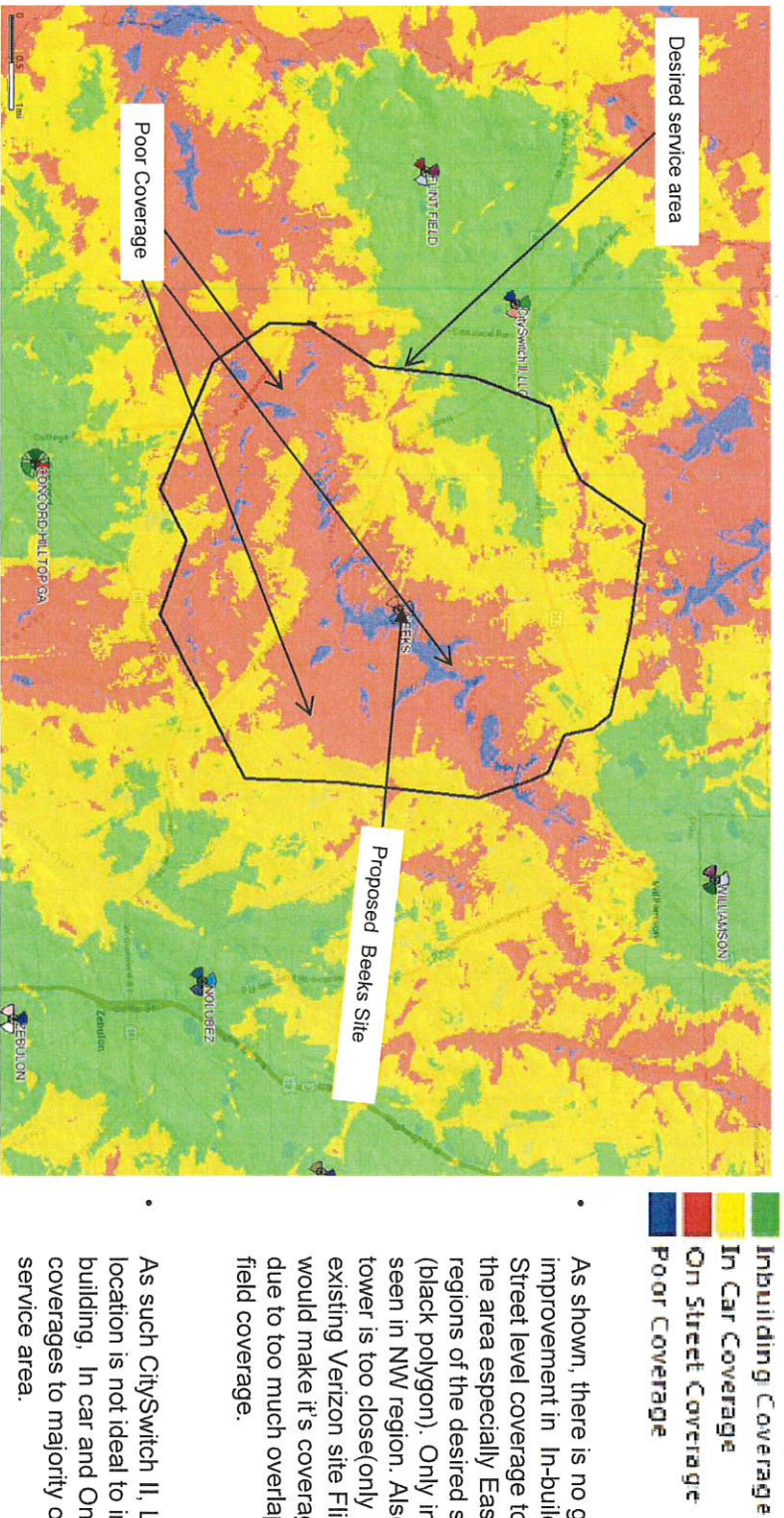
- As such proposed Beeks site location at 190 feet Radiation Center will help improve In building, In car and On street coverages within the desired service area.

Note:- Nolubez is another proposed neighboring Verizon site.





**Proposed LTE Coverage with CitySwitch II, LLC tower (# 1314569)  
- 190 feet Rad. Center**



Note:- Nulubez is another proposed neighboring Verizon site.

## PIKE COUNTY BOARD OF APPEALS MONTHLY MEETING

6:00 p.m. June 16, 2022

The Pike County Board of Appeals will conduct its scheduled monthly meeting on June 16, 2022, at 6:00 p.m. on the second floor of the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The Board will conduct **PUBLIC HEARINGS** on the following items:

(1) Appeal application APP-22-01. Tom Morgan is requesting an appeal to the administrative action by the zoning administrator with regards to a letter of determination written pertaining to right-of way and the 25' state water buffer at the Flat Shoals Bridge at the Flint River (entrance to the Shoals Subdivision). The appeal is being heard pursuant to Section 156.25 of the Pike County Code, Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will have final decision on this appeal.**

(2) VAR-22-06 Chris and Samantha Kingsley owner and Stuart Morris applicant request a variance to development regulations for property located at 2454 Etheridge Mill Road Griffin, GA 30224 in Land Lot 136 of the 2nd District, further identified as Parcel ID number 086 059Q. The property consist of 2.0 +/- acres and the request is to increase the maximum size of a guest quarters. Commission District 3, Commissioner Jason Proctor. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(3) VAR-22-07 Floyd S. and Jacqueline C. Lee owner and applicant request a variance to development regulations for property located at 5168 US Highway 19 Zebulon GA 30295 in Land Lot 232 of the 8th District, further identified as Parcel ID 069 040B. The property consist of 25.03 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1640.89 feet. Commission District 2, Commissioner Tim Guy. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(4) VAR-22-08 Karen L. Strelecki owner and Steve Reeves applicant request a variance to development regulations for property located at 5795 GA Highway 362 Williamson GA 30292 in Land Lots 183 & 184 of the 1st District, further identified as Parcel ID 025 021 & 038 002M. The property consist of 146.25 +/- acres and the request is to decrease the required 400-foot separation between flag lots and to increase the maximum length of the flagpole from 655 feet to 1620 +/- feet. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The Board of Appeals will make final decision on this variance.**

(5) SE-22-02 Robert and Marcia Williamson owner and Verizon Wireless applicant request a special exception to create a new 195-foot-tall telecommunications tower on Parcel ID 039-026 located on the Eastside of Beeks Road, North of Hollonville Road, Williamson, GA 30292 in Land Lot 218 of the 1st District. The property consists of 85.31 +/- acres. Per CH 156.43, any proposed telecommunications structure must be approved via special exception in the A-R zoning district. Commission District 1, Commissioner Tim Danial. **The public is invited to attend to speak in favor or in opposition of the request. The BOA will forward a recommendation to the BOC for final decision.**

The Pike County Board of Commissioners will conduct a **PUBLIC HEARING** on June 28, 2022, at 6:30 pm at the Pike County Courthouse located at 16001 Barnesville Street, Zebulon, Georgia. The public is invited to speak in favor or in opposition of the request.





SE-22-02 Photo Taken June 1, 2022